Louisiana Housing Finance Agency

Asset Management Committee

June 8, 2011

Table of Contents

Memo to Commissioners.....3

Agenda …….....4

Minutes of the May 11, 2011 Meeting …….5

Discussion of Willowbrook Apartments 8

Discussion and Resolution to extend Property Management Contract for Willowbrook Apts.....20

Discussion and Status Update on Capital City South Apartments.....23

Discussion, Status Update, and Decision on Village de Jardin Apartments.....69

Discussion of LHFA Main Office Building Assets.....113

BOBBY JINDAL
GOVERNOR

ALESIA Y. WILKINS-BRAXTON

Louisiana Housing Finance Agency

To: Commissioner Donald P. Vallee, Chairman
Commissioner Joseph M. Scontrino, III
Commissioner Guy T. Williams
Commissioner Mayson H. Foster
Treasurer John N. Kennedy
Commissioner Adena Boris
Commissioner Frank Thaxton

From: Dr. Roger Tijerino, Architect

Date: May 27, 2011

Re: Asset Management Committee

Please be advised an Asset Management Committee meeting will be held on Wednesday, **June 8, 2011, at 8:00 a.m**., Louisiana Housing Finance Agency, Committee Room 1, 2415 Quail Drive, Baton Rouge, LA 70808 by order of the Chairman.

If you have any questions or concerns, please contact us.

BOBBY JINDAL
GOVERNOR

ALESIA Y. WILKINS-
BRAXTON

Louisiana Housing Finance Agency

June 8, 2011

ASSET MANAGEMENT COMMITTEE MEETING

Notice is hereby given of an Asset Management Committee meeting to be held on **Wednesday, June 8, 2011, at 8:00 a.m.,** Louisiana Housing Finance Agency, Committee Room 1, located at 2415 Quail Drive, Baton Rouge LA, by order of the Chairman.

AGENDA

1. **Call to order, roll call, and introduction of guests.**
2. **Approval of the minutes for May 11, 2011 Asset Management Committee Meeting.**
3. **Discussion of Willowbrook Apartments (7001 Bundy Road, New Orleans, Orleans Parish).**

   Budget Variance Report and Actual Budget
   Occupancy Report
   Reserve for Capital Improvements

4. **Discussion and resolution to authorize extension of Property Management Contract for Willowbrook Apartments (7001 Bundy Road, New Orleans, Orleans Parish).**
5. **Discussion and Status Update on the construction of Capital City South Apartments (between South 16th Street and South 17th Street near North Avenue and between Eddie Robinson Sr. Drive and Iberville Street at Oleander Street, Baton Rouge, East Baton Rouge Parish).**

   Architect Field Reports
   Critical Path Timeline
   Pro-forma and Cash Flow

6. **Discussion, Status Update, and Decision regarding the Construction and other matters relating to Village de Jardin Apartments (8800 South I-10 Service Road, New Orleans, Orleans Parish).**

   Architect Field Reports
   Critical Path Timeline
   Furniture, Fixtures, and Equipment
   Pro-forma and Cash Flow
   Reserves
   LSU Medical Clinic

7. **Discussion of LHFA Main Office Building Assets.**

   Cooling and Emergency Power
   Reserve for Capital Improvements

8. **Other Business.**
9. **Adjournment.**

_____
Barry E. Brooks, Secretary

If you require special services or accommodations, please contact Barry E. Brooks at (225) 763 8773, or via email bbrooks@lhfa.state.la.us

Pursuant to the provisions of LSA-R.S. 42:17, upon two-thirds vote of the members present, the Board of Commissioners of the Louisiana Housing Finance Agency may choose to enter executive session, and by this notice, the Agency reserves its right to go into executive session as provided by law.

Louisiana Housing Finance Agency
Asset Management Committee Meeting Minutes
Wednesday, May 11, 2011
2415 Quail Drive
Committee Room 2
Baton Rouge, LA 70808
2:00 P.M.

Committee Members Present

Donald B. Vallee, Chair
Frank H. Thaxton, III
Adena R. Boris
Mayson H. Foster

Committee Members Absent

Guy T. Williams
Joseph M. Scontrino
John N. Kennedy

Other Commissioners Present

Michael L. Airhart
Allison A. Jones

Staff Present

Alesia Wilkins-Braxton
Keith Cunningham
Christine Bratkowski
Leslie Strahan
Jessica Guinn
Loretta Wallace
Dr. Roger Tijerino
Annie Robinson
Terry Holden
Danny Veals
Rene Landry
Brenda Evans
Agnes Chambers
Ricky Patterson
Joseph Durnin
Ruth Wesley

Visitors Present

Lisa Nice
Wayne Nevew
Tim Rittenhouse
Dana Henry
Dwayne Honoré

The Asset Management Committee was called to order by Chairman Vallee on May 11, 2011 at 1:57 p.m. in Committee Room 2 at Louisiana Housing Finance Agency, located at 2415 Quail Drive, Baton Rouge, LA. The roll was called by Ms. Rebekah Ward and the following Committee Members were present – Chair Vallee, Commissioner Foster, Commissioner Boris, and Commissioner Thaxton. Commissioner Airhart was also in attendance. There was a quorum for the meeting.

Mr. Vallee called for a motion to approve the minutes of the April 13, 2011 Asset Management Committee Meeting. Though a non-committee member moved to approve the minutes of the April Asset Management Committee Meeting, the motion was seconded and therefore moved by Mr. Foster who is a committee member. The minutes were approved by unanimous vote.

Loretta Wallace discussed the occupancy and budget variance report for Willowbrook Apartments and stated that the occupancy rate for the month of April was approximately 84%. There was a request of staff by Mr. Vallee to provide more specific data on the vacancies. Mr. Foster then inquired about the monthly rents at Willowbrook Apartments. Ms. Wallace answered that they are approximately $675 per month for a one bedroom apartment and $795 a month for a two bedroom apartment. Mr. Airhart asked Dr. Tijerino to get a cost analysis for converting 1 bedroom units into 2 bedroom units.

Mr. Keith Cunningham presented the timeline for the Property Management RFP for Willowbrook Apartments and Village de Jardin, information which could be found in the board documents. Mr. Cunningham noted that the RFP would be published on Thursday, May 12th, 2011 and that the deadline for submitting proposals was moved from June 22nd to June 30th. Mr. Cunningham also stated that Contract Initiation will begin at the August 10th, 2011 Board Meeting instead of the July 13th Board Meeting to allow Property Managers a full 7 weeks to submit proposals.

Dr. Tijerino introduced the discussion provided by D. Honoré Construction concerning the progress at the Capital City South project. Dr. Tijerino deferred to Mr. Honoré to continue the update. Mr. Honoré stated that the project is progressing according to the critical path timeline. Mr. Honoré stated there would be concrete paving poured, structural steel installed, and wood framing up by the end of the month. Mr. Vallee noted that the project is “back on schedule”.

Mr. Airhart confirmed with Mr. Honoré that the completion date of the project will be December 30. Mr. Vallee requested that Mr. Honoré be prepared to present current photographs of the project and a map of where the project is located for the June 8th Committee Meeting.

Mr. Vallee began providing a summary of the Value Engineering Schedule and inquired of Ms. Lisa Nice whether the contract document was finalized. Ms. Nice responded that all items on the Value Engineering Schedule Contract had been resolved, Change Orders were prepared and were awaiting final signature from the Agency. Mr. Vallee requested that Ms. Nice provide a schedule of the final savings.

Dr. Tijerino provided an update on the status of the Village de Jardin project stating that the project is on schedule according to the critical path timeline. Mrs. Wilkins-Braxton stated that the Office of Facility Planning is working with FEMA to be reimbursed for the landscaping on the project. Dr. Tijerino gave a brief review of the schedule of values for landscaping. Mrs. Wilkins-Braxton stated that $129,509.85 in funds which were initially designated to the Office of Facility Planning for furniture, fixtures and equipment were returned to the Agency, following the discussion that took place at the April 13, 2011 Asset Management Committee Meeting.

Dr. Tijerino began discussing furniture, fixtures and equipment for the Village de Jardin project. Mr. Thaxton stated his belief that this project should be furnished at the lower cost of $224,000.00 without greatly reducing the quantity of furniture. There was a lengthy discussion regarding the fact that the Interior Designer for the project reduced the quantity of furniture rather than reducing the quality and therefore the price. Mr. Airhart made the statement that the Agency is to provide affordable housing, not luxurious housing, and that the design should be in keeping with this standard. There was some discussion over the possibility of hiring an in-house interior designer. Mrs. Wilkins-Braxton determined that the Agency hiring an Interior designer would be cost-prohibitive.

Terry Holden began discussion on the Louisiana Housing Finance Agency Office Building Assets. Mr. Holden gave an overview of the Budget Variance Reports. Mr. Danny Veals gave report concerning the purchase of a cooling system for Information Technology services and discussed the possibility for emergency remote operation. There was further discussion about these matters.

Mr. Cunningham reported on the contract between LHFA and LSU Medical and Nursing School for the geriatric medical facility at the Village de Jardin project. Mr. Cunningham also stated that there is a plan to erect a billboard with a web address for the Village de Jardin project in order to minimize the number of people attempting to apply on-site.

There were no other matters to be discussed. The meeting adjourned at 3:39 p.m.

Willowbrook Management, Inc

Operating Statement

Willowbrook Apartments

		July 2010 Budget	July 2010 Actuals	July 2010 Variance	July Comments on Variance	August 2010 Budget	August 2010 Actuals	August 2010 Variance	August Comments on Variance	Sept. 2010 Budget	Sept 2010 Actuals	Sept. 2010 Variance	September Comments on Variance	Oct. 2010 Budget	Oct. 2010 Actuals	Oct. 2010 Variance	October Comments on Variance	Nov. 2010 Budget
Revenue																		
4000	Rent/Lease Income	$ 217,200.00	$ 224,511.50	$ (7,311.50)		$ 217,200.00	$ 226,134.00	$ (8,934.00)		$ 217,200.00	$ 230,340.00	$ (13,140.00)		$ 217,200.00	$ 233,115.85	$ (15,915.85)		$ 217,200.00
4001	Non Refundable Pet Fee		$ 582.00	$ (582.00)			$ 50.00	$ (50.00)		$ -	$ -	$ -		$ -	$ 300.00	$ (300.00)		$ -
4002	Month to Month Rent	$ 500.00	$ 150.00	$ 350.00		$ 500.00	$ 995.00	$ (495.00)		$ 500.00	$ 150.00	$ 350.00		$ 500.00	$ 150.00	$ 350.00		$ 500.00
4010	Security Deposit Forfeit	$ 1,100.00	$ 1,200.00	$ (100.00)		$ 1,100.00	$ 4,800.00	$ (3,700.00)		$ 1,100.00	$ 3,120.00	$ (2,020.00)		$ 1,100.00	$ 3,700.00	$ (2,600.00)		$ 1,100.00
4030	Application Fee	$ 450.00	$ 395.00	$ 55.00		$ 450.00	$ 530.00	$ (80.00)		$ 450.00	$ 500.00	$ (50.00)		$ 450.00	$ 405.00	$ 45.00		$ 450.00
4060	Laundry Income	$ 700.00	$ 1,257.67	$ (557.67)		$ 700.00	$ 1,298.52	$ (598.52)		$ 700.00	$ 985.15	$ (285.15)		$ 700.00	$ 1,292.89	$ (592.89)		$ 700.00
4100	Late Charge Income	$ 1,100.00	$ 4,500.00	$ (3,400.00)		$ 1,100.00	$ 3,058.00	$ (1,958.00)		$ 1,100.00	$ 2,905.00	$ (1,805.00)		$ 1,100.00	$ 2,677.00	$ (1,577.00)		$ 1,100.00
4110	Prepaid Rent Income		$ -	$ -			$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
4120	NSF Fee Income		$ -	$ -			$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
4121	Lock Out Fee		$ -	$ -			$ 25.00	$ (25.00)		$ -	$ -	$ -		$ -	$ -	$ -		$ -
4122	Gate Card Replacement		$ 50.00	$ (50.00)			$ 35.00	$ (35.00)		$ -	$ 75.00	$ (75.00)		$ -	$ 50.00	$ (50.00)		$ -
4140	Maint & Repairs Income		$ -	$ -			$ 10.00	$ (10.00)		$ -	$ -	$ -		$ -	$ 42.00	$ (42.00)		$ -
4170	Electrictity Utility Income		$ 216.15	$ (216.15)			$ 130.93	$ (130.93)		$ -	$ 4,264.65	$ (4,264.65)	Refunds from Entergy	$ -	$ 441.53	$ (441.53)		$ -
4180	Water Utility Income		$ 18.43	$ (18.43)			$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
4490	Other Income	$ 75.00	$ 350.00	$ (275.00)	income from washer/dryer and Lily Pad rent	$ 75.00	$ 1,007.10	$ (932.10)		$ 75.00	$ 350.00	$ (275.00)	income from washer/dryer and Lily Pad rent	$ 75.00	$ 1,138.08	$ (1,063.08)		$ 75.00
Total Revenue		**$ 221,125.00**	**$ 233,230.75**	$ (12,105.75)		**$ 221,125.00**	**$ 238,073.55**	**$ (16,948.55)**		**$ 221,125.00**	**$ 242,689.80**	**$ (21,564.80)**		**$ 221,125.00**	**$ 243,312.35**	**$ (22,187.35)**		**$ 221,125.00**
Operating Expenses																		
5000	Administrative Salaries	$ 5,920.00	$ (4,736.00)	$ 1,184.00	4 weeks	$ 5,920.00	$ (5,920.00)	$ -	5 weeks	$ 5,920.00	$ (5,920.00)	$ -	5 weeks	$ 5,920.00	$ (4,736.00)	$ 1,184.00	4 weeks	$ 5,920.00
5010	Management Fees	$ 11,821.26	$ (13,397.40)	$ (1,576.14)	6% of June Rents	$ 11,821.26	$ (13,460.01)	$ (1,638.75)	6% of July Rents	$ 11,821.26	$ (13,642.44)	$ (1,821.18)	6% of August rents	$ 11,821.26	$ (13,879.08)	$ (2,057.82)	6% of Sept. rents	$ 11,821.26
5020	Manager Salaries	$ 5,704.05	$ (4,923.04)	$ 781.01		$ 5,704.05	$ (6,153.80)	$ (449.75)		$ 5,704.05	$ (6,063.85)	$ (359.80)		$ 5,704.05	$ (4,923.04)	$ 781.01		$ 5,704.05
5021	Maintenance Manager	$ 5,537.90	$ (4,651.88)	$ 886.02		$ 5,537.90	$ (5,814.85)	$ (276.95)		$ 5,537.90	$ (5,814.85)	$ (276.95)		$ 5,537.90	$ (4,651.88)	$ 886.02		$ 5,537.90
5030	Clerical Salaries	$ 7,758.34	$ (7,523.03)	$ 235.31		$ 7,758.34	$ (9,737.80)	$ (1,979.46)		$ 7,758.34	$ (9,418.05)	$ (1,659.71)		$ 7,758.34	$ (7,596.67)	$ 161.67		$ 7,758.34
5040	Maintenance Salaries	$ 16,316.66	$ (12,393.42)	$ 3,923.24		$ 16,316.66	$ (14,234.27)	$ 2,082.39		$ 16,316.66	$ (15,982.55)	$ 334.11		$ 16,316.66	$ (12,751.75)	$ 3,564.91		$ 16,316.66
5060	Employee Benefits	$ 6,020.81	$ (4,760.59)	$ 1,260.22		$ 6,020.81	$ (4,760.59)	$ 1,260.22		$ 6,020.81	$ (4,760.59)	$ 1,260.22		$ 6,020.81	$ (4,760.59)	$ 1,260.22		$ 6,020.81
5100	Advertising	$ 4,700.00	$ (4,600.00)	$ 100.00		$ 4,700.00	$ (4,640.00)	$ 60.00		$ 4,700.00	$ (5,140.00)	$ (440.00)		$ 4,700.00	$ (4,560.00)	$ 140.00		$ 4,700.00
5110	Office Supplies	$ 500.00	$ (492.52)	$ 7.48		$ 500.00	$ (1,416.43)	$ (916.43)		$ 500.00	$ (205.99)	$ 294.01		$ 500.00	$ 73.44	$ 573.44		$ 500.00
5111	Office Equipment Contract	$ 100.00	$ (364.03)	$ (264.03)	service on PC's, etc	$ 100.00	$ (214.24)	$ (114.24)		$ 100.00	$ (574.57)	$ (474.57)		$ 100.00	$ (430.81)	$ (330.81)		$ 100.00
5119	Monthly Newsletters	$ 123.00	$ (123.00)	$ -		$ 123.00	$ (123.00)	$ -		$ 123.00	$ (123.00)	$ -		$ 123.00	$ (123.00)	$ -		$ 123.00

5120		Dues & Subscriptions	$ 62.50	$ (1,014.00)	$ (951.50)	The Apartment Assoc. dues	$ 62.50	$ -	$ 62.50		$ 62.50	$ (57.25)	$ 5.25		$ 62.50	$ -	$ 62.50		$ 62.50
5130		Postage & Delivery	$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ (52.80)	$ (52.80)		$ -	$ -	$ -		$ -
5140		Telephone	$ 484.00	$ (513.69)	$ (29.69)		$ 484.00	$ (846.18)	$ (362.18)		$ 484.00	$ (846.18)	$ (362.18)		$ 484.00	$ (512.79)	$ (28.79)		$ 484.00
5141		Cable/Internet	$ 145.66	$ (148.66)	$ (3.00)		$ 145.66	$ (148.66)	$ (3.00)		$ 145.66	$ (148.66)	$ (3.00)		$ 145.66	$ (148.66)	$ (3.00)		$ 145.66
5190		Other Administrative Expenses	$ 750.00	$ (249.13)	$ 500.87		$ 750.00	$ (1,468.13)	$ (718.13)	firemarshall inspections/background checks,etc.	$ 750.00	$ (805.91)	$ (55.91)	firemarshall inspections/background checks,etc.	$ 750.00	$ (624.38)	$ 125.62		$ 750.00
5191		Auto Expense	$ 500.00	$ -	$ 500.00		$ 500.00	$ (1,019.16)	$ (519.16)		$ 500.00	$ -	$ 500.00		$ 500.00	$ (1,019.16)	$ (519.16)	Vehicle Note for Sept/Oct	$ 500.00
5200		Maintenance & Repair	$ 2,084.00	$ (834.94)	$ 1,249.06		$ 2,084.00	$ (487.32)	$ 1,596.68		$ 2,084.00	$ (2,558.73)	$ (474.73)	misc. supplies, faucets,etc.	$ 2,084.00	$ (828.28)	$ 1,255.72		$ 2,084.00
5201		A/C Heat Contract	$ 500.00	$ (1,140.00)	$ (640.00)		$ 500.00	$ (90.00)	$ 410.00		$ 500.00	$ (668.03)	$ (168.03)		$ 500.00	$ (693.00)	$ (193.00)		$ 500.00
5202		Heat A/C Repairs	$ 750.00	$ -	$ 750.00		$ 750.00	$ (725.58)	$ 24.42		$ 100.00	$ (917.14)	$ (817.14)		$ 100.00	$ (494.19)	$ (394.19)		$ 100.00
5203		Appliances	$ -	$ -	$ -		$ -	$ (1,408.00)	$ (1,408.00)	Range & Refr. For unit	$ -	$ (452.16)	$ (452.16)		$ -	$ (1,501.22)	$ (1,501.22)		$ -
5204		Doors and Hardware	$ 350.00	$ (310.89)	$ 39.11		$ 350.00	$ (331.33)	$ 18.67		$ 350.00	$ (295.50)	$ 54.50		$ 350.00	$ 10.00	$ 360.00		$ 350.00
5210		Painting/Decorating Contract	$ 1,000.00	$ -	$ 1,000.00		$ 1,000.00	$ -	$ 1,000.00		$ 1,000.00	$ (1,324.00)	$ (324.00)		$ 1,000.00	$ (150.00)	$ 850.00		$ 1,000.00
5211		Paint/Decorating Supplies	$ 500.00	$ (1,509.62)	$ (1,009.62)		$ 500.00	$ (831.27)	$ (331.27)		$ 500.00	$ (2,179.50)	$ (1,679.50)	paint, blinds, misc.	$ 500.00	$ (746.65)	$ (246.65)		$ 500.00
5220		Grounds Maintenance	$ -	$ (310.17)	$ (310.17)		$ -	$ (419.00)	$ (419.00)		$ -	$ -	$ -		$ -	$ -	$ -		$ -
5222		Pump and Pond Contract	$ 500.00	$ -	$ 500.00		$ 500.00	$ (234.43)	$ 265.57		$ 500.00	$ (5,246.34)	$ (4,746.34)	work performed on pump bldg. J	$ 500.00	$ -	$ 500.00		$ 500.00
5230		Janitorial Contract	$ 400.00	$ (235.00)	$ 165.00		$ 400.00	$ (235.00)	$ 165.00		$ 400.00	$ (955.00)	$ (555.00)		$ 400.00	$ (530.00)	$ (130.00)		$ 400.00
5231		Janitorial Suppies	$ 150.00	$ (273.62)	$ (123.62)		$ 150.00	$ (421.15)	$ (271.15)		$ 150.00	$ (422.33)	$ (272.33)		$ 150.00	$ (179.16)	$ (29.16)		$ 150.00
5232		Cleaning/Trash Out	$ 125.00	$ 75.00	$ 200.00		$ 125.00	$ 115.00	$ 240.00		$ 125.00	$ 115.00	$ 240.00		$ 125.00	$ 25.00	$ 150.00		$ 125.00
5240		Lawn Care Contract	$ 4,500.00	$ (3,795.00)	$ 705.00		$ 4,500.00	$ -	$ 4,500.00	Billed not submitted for July	$ 4,500.00	$ (3,945.00)	$ 555.00		$ 4,500.00	$ (3,795.00)	$ 705.00		$ 4,500.00
5250		Plumbing Contract	$ 350.00	$ (1,266.64)	$ (916.64)		$ 350.00	$ (1,956.21)	$ (1,606.21)	repair leaks in multiple untis, HW/CW lines crossed, etc.	$ 350.00	$ (750.00)	$ (400.00)		$ 350.00	$ (1,861.00)	$ (1,511.00)	Montyhly plumbing contract & plumbing issues	$ 350.00
5251		Plumbing Supplies	$ 100.00	$ -	$ 100.00		$ 100.00	$ (571.24)	$ (471.24)		$ 100.00	$ (149.94)	$ (49.94)		$ 100.00	$ (21.96)	$ 78.04		$ 100.00
5260		Security Contract	$ 23,000.00	$ (23,062.28)	$ (62.28)		$ 23,000.00	$ (33,363.69)	$ (10,363.69)	Duplicate payment for service for 5/2-5/15-$11,126.38 refunded to agency on 11/09/2010. 4 weeks	$ 23,000.00	$ (37,768.49)	$ (14,768.49)	Extra Security due to shooting incdident & period from 8/8 thru 9/18=6 weeks	$ 23,000.00	$ (24,590.64)	$ (1,590.64)		$ 23,000.00
5269		Replace Pool Pass	$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
5270		Building Supplies	$ 250.00	$ (47.04)	$ 202.96		$ 250.00	$ (6,625.93)	$ (6,375.93)	Expense for speed bumps and fence repair	$ 250.00	$ (387.88)	$ (137.88)		$ 250.00	$ (1,563.72)	$ (1,313.72)	replaced glass in window(A-10) blinds, supplies	$ 250.00
5289		Carpet Replacement	$ 500.00	$ (673.54)	$ (173.54)		$ 500.00	$ (927.66)	$ (427.66)		$ 500.00	$ (2,887.65)	$ (2,387.65)	Carpet replacement	$ 500.00	$ (3,525.92)	$ (3,025.92)		$ 500.00
5290		Other Operations Expenses	$ 1,200.00	$ (1,561.11)	$ (361.11)	filters, flag, installation of hole repairs etc.in 4 units	$ 1,200.00	$ (119.02)	$ 1,080.98		$ 1,200.00	$ (2,600.00)	$ (1,400.00)	repairs to gate	$ 1,200.00	$ (506.93)	$ 693.07		$ 1,200.00
5291		Tenant Overpayment	$ -	$ -	$ -		$ -	$ (688.00)	$ (688.00)		$ -	$ 99.00	$ 99.00		$ -	$ -	$ -		$ -
5292		HANO Overpayment	$ -	$ -	$ -		$ -	$ 163.00	$ 163.00		$ -	$ (99.00)	$ (99.00)		$ -	$ -	$ -		$ -
5293		DHAP Overpayment	$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
5294		Electrical Repairs	$ 275.00	$ (237.30)	$ 37.70		$ 275.00	$ (477.36)	$ (202.36)		$ 275.00	$ (1,299.16)	$ (1,024.16)		$ 275.00	$ -	$ 275.00		$ 275.00

5295	Electrical Supplies	$ -	$ (822.99)	$ (822.99)	Ceiling Fan, stove burner, bulbs, etc.	$ -	$ (220.00)	$ (220.00)		$ -	$ (1,512.36)	$ (1,512.36)	Electrical supplies for various units	$ -	$ -	$ -		$ -
5296	Quadel Consulting Corp	$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ 1,047.00	$ 1,047.00		$ -
5300	Electricity	$ 9,756.45	$ (11,261.10)	$ (1,504.65)		$ 9,756.45	$ (11,423.73)	$ (1,667.28)		$ 9,756.45	$ (10,495.92)	$ (739.47)		$ 9,756.45	$ (10,714.90)	$ (958.45)		$ 9,756.45
5304	Locks Change	$ -	$ 60.00	$ 60.00		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
5310	Water	$ 6,611.14	$ (6,100.31)	$ 510.83		$ 6,900.00	$ (6,893.41)	$ 6.59		$ 7,200.00	$ (6,059.43)	$ 1,140.57		$ 7,200.00	$ (6,422.06)	$ 777.94		$ 7,200.00
5311	Sewer	$ 8,888.25	$ (8,339.47)	$ 548.78		$ 8,888.25	$ (9,057.78)	$ (169.53)		$ 11,800.00	$ (7,872.44)	$ 3,927.56		$ 11,800.00	$ (9,406.41)	$ 2,393.59		$ 11,800.00
5320	Trash Collection	$ 1,636.74	$ (2,570.56)	$ (933.82)	monthly fee + rental of 2 rolloff conrtainers	$ 1,636.74	$ (1,870.56)	$ (233.82)		$ 1,636.74	$ (2,220.56)	$ (583.82)		$ 1,636.74	$ (2,778.40)	$ (1,141.66)		$ 1,636.74
5401	Mileage Expense	$ 50.00	$ -	$ 50.00		$ 50.00	$ -	$ 50.00		$ 50.00	$ (247.52)	$ (197.52)		$ 50.00	$ (230.06)	$ (180.06)		$ 50.00
5412	Bank Recon Adjustments	$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ (5.15)	$ (5.15)		$ -	$ 0.20	$ 0.20		$ -
5440	Legal & Accounting	$ 300.00	$ (1,820.00)	$ (1,520.00)	Eviction fees for July	$ 300.00	$ -	$ 300.00		$ 300.00	$ (1,092.00)	$ (792.00)	charges for evictions	$ 300.00	$ (1,212.00)	$ (912.00)	chgs for evictions	$ 300.00
5510	Fees and Permits	$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
5520	Insurance	$ -	$ -	$ -		$ -	$ (3,529.50)	$ (3,529.50)	Liability Insurance	$ -	$ -	$ -		$ -	$ -	$ -		$ -
5540	Pool Contract	$ 750.00	$ (2,323.42)	$ (1,573.42)	Monthly fee + hole repair in front pool	$ 750.00	$ (865.20)	$ (115.20)		$ 750.00	$ (500.00)	$ 250.00		$ 750.00	$ (500.00)	$ 250.00		$ 750.00
5541	Pool Supplies	$ 150.00	$ (327.84)	$ (177.84)		$ 150.00	$ (159.78)	$ (9.78)		$ 150.00	$ (229.98)	$ (79.98)		$ 150.00	$ (756.93)	$ (606.93)		$ 150.00
5550	Pest Control Contract	$ 650.00	$ (650.00)	$ -		$ 650.00	$ (650.00)	$ -		$ 650.00	$ (650.00)	$ -		$ 650.00	$ (650.00)	$ -		$ 650.00
5551	Pest Control Supplies	$ -	$ (15.98)	$ (15.98)		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
7990	Uniforms	$ 447.78	$ (381.85)	$ 65.93		$ 450.00	$ (305.48)	$ 144.52		$ 450.00	$ (417.74)	$ 32.26		$ 450.00	$ (1,312.60)	$ (862.60)		$ 450.00
Total Operating Expenses		**$ 132,218.54**	**$ (129,626.06)**	**$ 2,592.48**		**$ 132,509.62**	**$ (154,566.75)**	**$ (22,057.13)**		**$ 135,071.37**	**$ (165,551.64)**	**$ (30,480.27)**		**$ 135,071.37**	**$ (134,533.20)**	**$ 538.17**		**$ 135,071.37**

Nov. 2010 Actuals	Nov. 2010 Variance	Nov. 2010 Comments on Variance	Dec. 2010 Budget	Dec. 2010 Actuals	Dec. 2010 Variance	Dec. 2010 comments on Variance	Jan 2011 Budget	Jan 2011 Actuals	Jan 2011 Variance	Jan 2011 Comments on variance	Feb 2011 Budget	Feb 2011 Actuals	Feb 2011 Variance	Feb 2011 Comments on Variance	March 2011 Budget	March 2011 Actuals	March 2011 Variance	March 2011 Comments on variance	Total Variance Year-to-Date
$ 233,690.00	$ (16,490.00)		$ 217,200.00	$ 228,742.00	$ (11,542.00)		217,200.00	$ 254,550.00	$ (37,350.00)		$ 217,200.00	$ 244,010.00	$ (26,810.00)		$ 217,200.00	$ 234,937.11	$ (17,737.11)		**$ (155,230.46)**
$ -	$ -			$ -	$ -			$ -	$ -		$ -	$ -	$ -		$ -	$ 300.00	$ (300.00)		**$ (1,232.00)**
$ -	$ 500.00		$ 500.00	$ 50.00	$ 450.00		500.00	$ 100.00	$ 400.00		$ 500.00	$ 250.00	$ 250.00		$ 500.00	$ 100.00	$ 400.00		**$ 2,555.00**
$ 2,400.00	$ (1,300.00)		$ 1,100.00	$ 2,700.00	$ (1,600.00)		1,100.00	$ 4,300.00	$ (3,200.00)		$ 1,100.00	$ 2,012.00	$ (912.00)		$ 1,100.00	$ 3,366.00	$ (2,266.00)		**$ (17,698.00)**
$ 250.00	$ 200.00		$ 450.00	$ 249.14	$ 200.86		450.00	$ 240.00	$ 210.00		$ 450.00	$ 280.00	$ 170.00		$ 450.00	$ 208.23	$ 241.77		**$ 992.63**
$ 961.57	$ (261.57)		$ 700.00	$ 953.00	$ (253.00)		700.00	$ 1,285.93	$ (585.93)		$ 700.00	$ 1,183.63	$ (483.63)		$ 700.00	$ 1,372.09	$ (672.09)		**$ (4,290.45)**
$ 1,692.00	$ (592.00)		$ 1,100.00	$ 459.00	$ 641.00		1,100.00	$ 2,460.00	$ (1,360.00)		$ 1,100.00	$ 2,307.00	$ (1,207.00)		$ 1,100.00	$ 1,535.00	$ (435.00)		**$ (11,693.00)**
$ -	$ -		$ -	$ -	$ -		-	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ -**
$ -	$ -		$ -	$ -	$ -		-	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ -**
$ 25.00	$ (25.00)		$ -	$ -	$ -		-	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ (50.00)**
$ 75.00	$ (75.00)		$ -	$ -	$ -		-	$ 100.00	$ (100.00)		$ -	$ 265.00	$ (265.00)		$ -	$ 100.00	$ (100.00)		**$ (750.00)**
$ 25.00	$ (25.00)		$ -	$ -	$ -		-	$ 10.00	$ (10.00)		$ -	$ 10.00	$ (10.00)		$ -	$ -	$ -		**$ (97.00)**
$ 148.19	$ (148.19)		$ -	$ 150.33	$ (150.33)		-	$ 196.60	$ (196.60)		$ -	$ -	$ -		$ -	$ 35.50	$ (35.50)		**$ (5,583.88)**
$ -	$ -		$ -	$ -	$ -		-	$ -	$ -		$ -	$ -	$ -		$ -		$ -		**$ (18.43)**
$ 1,312.35	$ (1,237.35)		$ 75.00	$ 700.00	$ (625.00)		75.00	$ -	$ 75.00		$ 75.00	$ 400.00	$ (325.00)		$ 75.00	$ 355.00	$ (280.00)		**$ (4,937.53)**
$ 240,579.11	$ (19,454.11)		**$ 221,125.00**	**$ 234,003.47**	$ (12,878.47)		**221,125.00**	**$ 263,242.53**	$ (42,117.53)		**221,125.00**	**$ 250,717.63**	$ (29,592.63)		**$ 221,125.00**	**$ 242,308.93**	**$ (21,183.93)**		**$ (198,033.12)**
$ (4,736.00)	$ 1,184.00	**4 weeks**	$ 5,920.00	$ (5,920.00)	$ -	**5 weeks**	$ 5,920.00	$ (7,104.00)	$ (1,184.00)	**(12/19-1/22) 6 weeks-duplicate check #4076 voided**	$ 5,920.00	$ (4,736.00)	$ 1,184.00	**(1/30-2/20) 4 weeks**	$ 5,920.00	$ (5,920.00)	$ -	**5 wk pay periods-3/03-3/30/11**	**$ 3,552.00**
$ (14,012.16)	$ (2,190.90)	**6% of October rents**	$ 11,821.26	$ (13,991.82)	$ (2,170.56)	**6% of Nov rents**	$ 11,821.26	$ (13,396.44)	$ (1,575.18)	**6% of Dec rents**	$ 11,821.26	$ (15,260.40)	$ (3,439.14)	**6% of Jan rents**	$ 11,821.26	$ (28,871.41)	$ (17,050.15)	**For February 2011 and March 2011 Fee-noramally the March fee is taken out in April**	**$ (33,519.82)**
$ (4,923.04)	$ 781.01		$ 5,704.05	$ (6,153.80)	$ (449.75)	**5-wks pp ending 10-31-Nov 28**	$ 5,704.05	$ (7,384.56)	$ (1,680.51)	**(12/19-1/22) 6 weeks-duplicate check #4076 voided**	$ 5,704.05	$ (4,923.04)	$ 781.01	**(1/30-2/20) 4 weeks**	$ 5,704.05	$ (6,153.80)	$ (449.75)	**5 wk pay periods-3/03-3/30/11**	**$ (265.52)**
$ (4,651.88)	$ 886.02		$ 5,537.90	$ (5,814.85)	$ (276.95)	**5-wks pp ending 10-31-Nov 28**	$ 5,537.90	$ (6,977.82)	$ (1,439.92)	**(12/19-1/22) 6 weeks-duplicate check #4076 voided**	$ 5,537.90	$ (4,651.88)	$ 886.02	**(1/30-2/20) 4 weeks**	$ 5,537.90	$ (5,814.85)	$ (276.95)	**5 wk pay periods-3/03-3/30/11**	**$ 996.36**
$ (7,550.60)	$ 207.74		$ 7,758.34	$ (9,494.92)	$ (1,736.58)	**5-wks pp ending 10-31-Nov 28**	$ 7,758.34	$ (11,395.75)	$ (3,637.41)	**(12/19-1/22) 6 weeks-duplicate check #4076 voided**	$ 7,758.34	$ (7,582.49)	$ 175.85	**(1/30-2/20) 4 weeks**	$ 7,758.34	$ (9,457.94)	$ (1,699.60)	**5 wk pay periods-3/03-3/30/11**	**$ (9,932.19)**
$ (11,945.09)	$ 4,371.57		$ 16,316.65	$ (13,383.43)	$ 2,933.22	**5-wks pp ending 10-31-Nov 28**	$ 16,316.66	$ (15,435.60)	$ 881.06	**(12-19-1/22) duplicate check cut-#4076 voided+housekeeper no longer employed**	$ 16,316.66	$ (7,842.82)	$ 8,473.84	**Short 1 maintenance person,the housekeeper & porter**	$ 16,316.66	$ (11,202.11)	$ 5,114.55	**Short 1 maintenance person,the housekeeper & porter**	**$ 31,678.89**
$ (9,521.18)	$ (3,500.37)	**overbilled for October. 2nd check voided. Should adjust in December**	6020.81	$ -	$ 6,020.81	**Billed in November for December amt of 4760.59= over chged**	$ 6,020.81	$ (4,366.81)	$ 1,654.00	**Reduction in costs**	$ 6,020.81	$ (8,733.62)	$ (2,712.81)	**2 checks cut on 2-01-2011, but 1 check (#4090) has been voided. Only 1 check cleared in the amount of $4,366.81**	$ 6,020.81	$ (4,366.81)	$ 1,654.00	**Cheaper benefits package**	**$ 8,156.51**
$ (7,660.00)	$ (2,960.00)	**Invoices for Advertising Services for 9-27/11-14. previous invoices were running about a month behind.**	$ 4,700.00	$ (1,985.00)	$ 2,715.00	**Asked staff to reduce adv. Expense**	$ 4,700.00	$ (575.00)	$ 4,125.00	**LHFA staff requested cut back in this area**	$ 4,700.00	$ (1,766.00)	$ 2,934.00	**LHFA staff requested reduction in this expense catergory**	$ 4,700.00	$ (1,560.00)	$ 3,140.00	**LHFA staff requested reduction in this expense catergory**	**$ 9,814.00**
$ (1,260.00)	$ (760.00)		$ 500.00	$ (326.41)	$ 173.59		$ 500.00	$ (1,081.00)	$ (581.00)		$ 500.00	$ (732.59)	$ (232.59)		$ 500.00	$ -	$ 500.00		**$ (941.50)**
$ (169.49)	$ (69.49)		$ 100.00	$ (108.70)	$ (8.70)		$ 100.00	$ (656.54)	$ (556.54)	**Copier leasing**	$ 100.00	$ (111.32)	$ (11.32)		$ 100.00	$ (212.23)	$ (112.23)		**$ (1,941.93)**
$ (85.95)	$ 37.05		$ 123.00	$ (85.95)	$ 37.05		$ 123.00	$ (85.95)	$ 37.05		$ 123.00	$ (85.95)	$ 37.05		$ 123.00	$ (85.95)	$ 37.05		**$ 185.25**

$ -	$ 62.50		$ 62.50	$ -	$ 62.50		$ 62.50	$ -	$ 62.50		$ 62.50	$ -	$ 62.50		$ 62.50	$ -	$ 62.50		**$ (508.75)**
$ -	$ -		$ -	$ -	$ -			$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ (52.80)**
$ (1,115.94)	$ (631.94)		$ 484.00	$ (781.28)	$ (297.28)		$ 484.00	$ (835.85)	$ (351.85)		$ 484.00	$ (777.11)	$ (293.11)		$ 484.00	$ (810.42)	$ (326.42)		**$ (2,683.44)**
$ (148.59)	$ (2.93)		$ 145.65	$ (148.59)	$ (2.94)		$ 145.66	$ (148.59)	$ (2.93)		$ 145.66	$ (148.59)	$ (2.93)		$ 145.66	$ (152.59)	$ (6.93)		**$ (30.66)**
$ (626.90)	$ 123.10		$ 750.00	$ (999.74)	$ (249.74)		$ 750.00	$ (352.97)	$ 397.03	**Background, criminal check**	$ 750.00	$ (346.22)	$ 403.78		$ 750.00	$ (506.85)	$ 243.15		**$ 769.77**
$ -	$ 500.00		$ 500.00	$ -	$ 500.00	**Monthly note on vehicle not paid**	$ 500.00	$ (3,772.16)	$ (3,272.16)	**maintenance of vehicle & notes (late chgs to be re-imbursed)**	$ 500.00	$ (494.79)	$ 5.21		$ 500.00	$ -	$ 500.00		**$ (1,805.27)**
$ (91.22)	$ 1,992.78		$ 2,084.05	$ (603.97)	$ 1,480.08		$ 2,084.00	$ (939.07)	$ 1,144.93		$ 2,084.00	$ (502.29)	$ 1,581.71	**Supplies for repairs to units**	$ 2,084.00	$ (2,238.08)	$ (154.08)		**$ 9,672.15**
$ (135.00)	$ 365.00		$ 500.00	$ (135.00)	$ 365.00		$ 500.00	$ (657.17)	$ (157.17)		$ 500.00	$ (92.07)	$ 407.93		$ 500.00	$ (507.17)	$ (7.17)		**$ 382.56**
$ -	$ 100.00		$ 100.00	$ -	$ 100.00		$ 100.00	$ -	$ 100.00		$ 100.00	$ (644.40)	$ (544.40)	**purchase of 24 vent covers**	$ 250.00	$ (925.13)	$ (675.13)	**Regrigerator supplies**	**$ (1,356.44)**
$ 15.00	$ 15.00		$ -	$ (443.81)	$ (443.81)			$ (358.33)	$ (358.33)	**stove repair**	$ -	$ 50.00	$ 50.00		$ -	$ (1,009.71)	$ (1,009.71)	**purchase of 2 refrigerators**	**$ (5,108.23)**
$ (326.32)	$ 23.68		$ 350.00	$ -	$ 350.00		$ 350.00	$ (146.44)	$ 203.56		$ 350.00	$ (199.81)	$ 150.19		$ 350.00	$ 10.00	$ 360.00		**$ 1,559.71**
$ (150.00)	$ 850.00		$ 1,000.00	$ -	$ 1,000.00		$ 1,000.00	$ (125.00)	$ 875.00		$ 1,000.00	$ (1,910.00)	$ (910.00)	**Painting of the Lily Pad**	$ 1,000.00	$ (2,475.00)	$ (1,475.00)	**sheetrock repairs from electrical work in Laudryroom**	**$ 2,866.00**
$ (1,028.67)	$ (528.67)		$ 500.00	$ (783.25)	$ (283.25)		$ 500.00	$ (828.34)	$ (328.34)		$ 500.00	$ (1,334.29)	$ (834.29)	**cleaning & painting of vacant units**	$ 500.00	$ (1,011.61)	$ (511.61)		**$ (5,753.20)**
$ -	$ -		$ -	$ -	$ -			$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ (729.17)**
$ (185.00)	$ 315.00		$ 500.00	$ -	$ 500.00		$ 500.00	$ -	$ 500.00		$ 500.00	$ -	$ 500.00		$ 500.00	$ -	$ 500.00		**$ (1,165.77)**
$ (195.00)	$ 205.00		$ 400.00	$ (435.00)	$ (35.00)		$ 400.00	$ (395.00)	$ 5.00		$ 400.00	$ (743.00)	$ (343.00)		$ 400.00	$ (949.00)	$ (549.00)		**$ (1,072.00)**
$ (335.41)	$ (185.41)		$ 150.00	$ (179.02)	$ (29.02)		$ 150.00	$ (527.67)	$ (377.67)		$ 150.00	$ -	$ 150.00		$ 150.00	$ (154.94)	$ (4.94)		**$ (1,143.30)**
$ 170.00	$ 295.00		$ 125.00	$ (3,795.00)	$ (3,670.00)	**$3,795 chged in error sh/be lawn care**	$ 125.00	$ -	$ 125.00		$ 125.00	$ 193.00	$ 318.00		$ 125.00	$ 294.00	$ 419.00		**$ (1,683.00)**
$ (6,533.10)	$ (2,033.10)	**Payment for July received in November- amount less because of a credit balance from November 09 for $1,056,90**	$ 4,500.00	$ -	$ 4,500.00	**3,795 chged to #5232 in error**	$ 4,500.00	$ (3,795.00)	$ 705.00		$ 4,500.00	$ (3,795.00)	$ 705.00		$ 4,500.00	$ (3,795.00)	$ 705.00		**$ 11,046.90**
$ (1,292.20)	$ (942.20)		$ 350.00	$ (134.75)	$ 215.25		$ 350.00	$ (815.00)	$ (465.00)	**reset toilet in F-15**	$ 350.00	$ (945.00)	$ (595.00)	**Sewer issues**	$ 350.00	$ (1,282.50)	$ (932.50)	**repair leaks in various apts in bathroom**	**$ (7,153.30)**
$ (63.42)	$ 36.58		$ 100.00	$ (1,483.22)	$ (1,383.22)	**Misc plumbing inventory replenished**	$ 100.00	$ -	$ 100.00		$ 100.00	$ (1,334.84)	$ (1,234.84)	**Supplies and repairs to units**	$ 100.00	$ -	$ 100.00		**$ (2,724.62)**
$ (11,565.78)	$ 11,434.22	**$11,126.38 refunded from overpayment in August for May invoice**	$ 23,000.00	$ (23,680.92)	$ (680.92)		$ 23,000.00	$ (21,705.24)	$ 1,294.76		$ 23,000.00	$ (23,049.14)	$ (49.14)		$ 23,000.00	$ (33,836.38)	$ (10,836.38)	**6 weeks of service: period 2/6/11-3/19/11**	**$ (25,622.56)**
$ -	$ -		$ -	$ -	$ -			$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ -**
$ (2,200.47)	$ (1,950.47)	**General supplies, blinds,etc**	$ 250.00	$ (985.00)	$ (735.00)		$ 250.00	$ (3,971.45)	$ (3,721.45)	**door replacement, windows, blinds and general supplies-**	$ 250.00	$ (575.40)	$ (325.40)		$ 250.00	$ (1,529.08)	$ (1,279.08)	**Replace blinds in various units**	**$ (15,635.97)**
$ (283.20)	$ 216.80		$ 500.00	$ (839.87)	$ (339.87)		$ 500.00	$ (1,665.86)	$ (1,165.86)	**carpet replacement- deposits are forfeited and tenant is billed for balance**	$ 500.00	$ (2,340.64)	$ (1,840.64)	**Replacing carpet as needed on move-out units and charging to tenant**	$ 500.00	$ (3,350.01)	$ (2,850.01)	**Replacing carpet as needed on move-out units and charging to tenant**	**$ (11,994.35)**
$ (459.33)	$ 740.67		$ 1,200.00	$ (846.99)	$ 353.01	**replace bedroom window**	$ 1,200.00	$ (1,680.52)	$ (480.52)	**Flag replacement, golf cart repairs, etc.**	$ 1,200.00	$ (1,469.18)	$ (269.18)		$ 1,200.00	$ (2,271.48)	$ (1,071.48)	**Resurface tub, counter tops/sinks in various apts.**	**$ (714.56)**
$ 206.00	$ 206.00		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ 1,954.00	$ 1,954.00		**$ 1,571.00**
$ 1,719.00	$ 1,719.00	**refunds for move outs**	$ -	$ -	$ -			$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ 1,783.00**
$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		**$ -**
$ (513.80)	$ (238.80)		$ 275.00	$ (75.00)	$ 200.00		$ 275.00	$ (646.82)	$ (371.82)		$ 275.00	$ (116.95)	$ 158.05		$ 275.00	$ (1,075.22)	$ (800.22)	**various electrical issues**	**$ (1,966.61)**

$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ (2,555.35)
$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ 1,047.00
$ (8,536.55)	$ 1,219.90		$ 9,756.45	$ (8,831.18)	$ 925.27		$ 9,756.45	$ (9,404.48)	$ 351.97		$ 9,756.45	$ (9,686.65)	$ 69.80		$ 9,756.45	$ (8,155.69)	$ 1,600.76		$ (702.15)
$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ 60.00	$ 60.00		$ 120.00
$ (4,831.78)	$ 2,368.22		$ 7,500.00	$ (6,078.65)	$ 1,421.35		$ 7,500.00	$ (5,419.86)	$ 2,080.14		$ 7,500.00	$ (6,834.00)	$ 666.00		$ 7,800.00	$ (5,796.47)	$ 2,003.53		$ 10,975.17
$ (7,198.79)	$ 4,601.21		$ 12,000.00	$ (8,927.58)	$ 3,072.42		$ 12,000.00	$ (7,666.00)	$ 4,334.00		$ 12,000.00	$ (8,900.22)	$ 3,099.78		$ 12,300.00	$ (7,512.89)	$ 4,787.11		$ 26,594.92
$ (2,428.40)	$ (791.66)	Monthly fee + addt'l rollover containers	$ 1,636.74	$ (2,428.40)	$ (791.66)	monthly bill + add'l container	$ 1,636.74	$ (2,778.40)	$ (1,141.66)	Monthly charges + addt'l containers	$ 1,636.74	$ (2,428.40)	$ (791.66)	Monthly charges + addt'l containers	$ 1,636.74	$ (2,428.40)	$ (791.66)	Monthly charges + addt'l containers	$ (7,201.42)
$ (148.81)	$ (98.81)		$ 50.00	$ (91.00)	$ (41.00)		$ 50.00	$ -	$ 50.00		$ 50.00	$ (150.00)	$ (100.00)		$ 50.00	$ (146.83)	$ (96.83)		$ (564.22)
$ -	$ -		$ -	$ (3.00)	$ (3.00)		$ -	$ (0.35)	$ (0.35)		$ -	$ -	$ -		$ -	$ -	$ -		$ (8.30)
$ 518.75	$ 818.75		$ 300.00	$ (1,092.00)	$ (792.00)	Charges associated with evictions	$ 300.00	$ -	$ 300.00	Evictions	$ 300.00	$ 12.00	$ 312.00		$ 300.00	$ (815.00)	$ (515.00)	Fees for evictions	$ (2,800.25)
$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -
$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ (3,529.50)
$ -	$ 750.00	$1,175 should have been charged to #5540 Pool Contracts	$ 750.00	$ (1,675.00)	$ (925.00)	Correction for 1,175 made from Acct #5550=chg of $500=1675	$ 750.00	$ (773.99)	$ (23.99)	Monthly service for Pool	$ 750.00	$ (1,835.94)	$ (1,085.94)	Monthly contract + repairs to pool	$ 750.00	$ (500.00)	$ 250.00	Monthly contract	$ (2,223.55)
$ (229.98)	$ (79.98)		$ 150.00	$ -	$ 150.00		$ 150.00	$ -	$ 150.00		$ 150.00	$ -	$ 150.00		$ 150.00	$ (477.94)	$ (327.94)	Pool supplies to get pool ready for the summer	$ (832.45)
$ (1,825.00)	$ (1,175.00)	$1,175 should have been charged to #5540 Pool Contracts	$ 650.00	$ 525.00	$ 1,175.00	Adjustment from Nov for 1,175 moved to 5540-actual chg is 650 which nets 525	$ 650.00	$ -	$ 650.00		$ 650.00	$ (2,260.00)	$ (1,610.00)	Roach infestation in several units due to hole in concrete around hot water heater closet.	$ 650.00	$ (825.00)	$ (175.00)		$ (1,135.00)
$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ -	$ -	$ -		$ (15.98)
$ -	$ 450.00		$ 450.00	$ (228.34)	$ 221.66		$ 450.00	$ -	$ 450.00		$ 450.00	$ (92.09)	$ 357.91		$ 450.00	$ (184.18)	$ 265.82		$ 1,125.50
$ (116,335.30)	$ 18,736.06		$ 135,571.40	$ (122,445.44)	$ 13,125.96		$ 135,571.37	$ (137,869.03)	$ (2,297.66)		$ 135,571.37	$ (129,177.13)	$ 6,394.24		$ 136,321.37	$ (156,049.67)	$ (19,728.30)		$ (33,176.45)

WEEKLY REPORT

DATE	3/13/2011	3/20/2011	3/27/2011	4/3/2011	4/10/2011	4/17/2011	4/24/2011	5/1/2011	5/8/2011	5/15/2011	5/22/2011
1 BDRMS	216	216	216	216	216	216	216	216	216	216	216
2 BDRMS	192	192	192	192	192	192	192	192	192	192	192
TOTAL	408	408	408	408	408	408	408	408	408	408	408
MODELS	2	2	2	2	2	2	2	2	2	2	2
ADMIN OCCUPIED	1	1	1	1	1	1	1	1	1	0	0
OCCUPIED 1 BDRMS	171	170	172	174	172	167	168	165	166	165	164
OCCUPIED 2 BDRMS	183	183	181	181	178	176	176	177	177	174	175
OCCUPIED TOTAL	354	353	353	355	350	343	344	342	343	339	339
VACANT 1 BDRMS	45	46	44	42	48	53	51	51	50	50	51
VACANT 2 BDRMS	9	9	11	11	14	16	12	12	12	17	16
VACANT TOTAL	54	55	55	53	62	69	63	63	62	67	67
MOVE-IN 1 BDRMS	0	2	2	2	0	0	1	1	1	1	0
MOVE-IN 2 BDRMS	0	0	0	1	0	1	2	0	1	0	0
MOVE- IN TOTAL	0	2	2	3	0	1	3	1	2	1	0
MOVE-OUT 1 BDRMS	1	0	0	4	5	0	4	0	2	1	0
MOVE-OUT 2 BDRMS	0	2	0	4	2	0	1	0	4	0	0
MOVE-OUT TOTAL	1	2	0	8	7	0	5	0	6	1	0
CURRENT OCCUPIED	353	353	355	350	343	344	342	343	339	339	339
CURRENT % OCCUPIED	86.52=87%	86.52=87%	87%	86.79=86%	84%	84.32=84%	83.83=84%	84.07%	83.09%	83.09%	83%
PRELEASED 1 BDRMS	3	4	2	0	1	1	0	0	1	1	0
PRELEASED 2 BDRMS	0	0	0	0	0	0	0	1	0	0	0
M/O 1 BDRM NOTICES	7	7	10	3	7	6	6	7	6	4	3
M/O 2 BDRM NOTICES	5	5	4	5	6	6	6	7	7	8	5
M/O NOTICE TOTAL	12	12	14	8	13	12	12	14	13	12	8
TOTAL WALK-INS	7	6	6	7	10	9	6	7	10	5	5
TOTAL APPS TAKEN	4	2	3	3	3	4	3	3	5	2	0
APPS IN PROGRESS	2	1	3	4	4	5	7	5	5	4	5
APPS DENIED	0	0	0	0	0	0	0	0	0	0	0

Willowbrook Apartments		Revised 5/31/2011												
Operating Expenses														
Budget	July 2011 - June 2012													
Account #	Title	Jul-11	Aug-11	Sep-11	Oct-11	Nov-11	Dec-11	Jan-12	Feb-12	Mar-12	Apr-12	May-12	Jun-12	
	Rental Income													
4000	Apartments	298440	298440	298440	298440	298440	298440	298440	298440	298440	298440	298440	298440	3581280
4002	Excess Rent	500	500	500	500	500	500	500	500	500	500	500	500	6000
	Total Rent revenue potential at 100% occ	298940	298940	298940	298940	298940	298940	298940	298940	298940	298940	298940	298940	
														$ 3,587,280.00
	Vacancies													
	Apartments	38955	38955	38955	38955	38955	38955	38955	38955	38955	38955	38955	38955	
	Model Units	1470	1470	1470	1470	1470	1470	1470	1470	1470	1470	1470	1470	
	Miscellaneous (Loss-to-lease)	10035	10035	10035	10035	10035	10035	10035	10035	10035	10035	10035	10035	
	Total Vacancies	50460	50460	50460	50460	50460	50460	50460	50460	50460	50460	50460	50460	$ 605,520.00
	Net Rental Revenue less vacancies	248480	248480	248480	248480	248480	248480	248480	248480	248480	248480	248480	248480	
														$ 2,981,760.00
	Other Revenue													
4060	Laundry and Vending	700	700	700	700	700	700	700	700	700	700	700	700	$ 8,400.00
4100	Late Charge	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	1500	$ 18,000.00
4030	Application Fee	450	450	450	450	450	450	450	450	450	450	450	450	$ 5,400.00
4010	Forfeited Security Deposits (Tenant)	900	900	900	900	900	900	900	900	900	900	900	900	$ 10,800.00
4490	Other revenue	350	350	350	350	350	350	350	350	350	350	350	350	$ 4,200.00
	Total Other revenue	3900	3900	3900	3900	3900	3900	3900	3900	3900	3900	3900	3900	
	Total Revenue	252,380	252,380	252,380	252,380	252,380	252,380	252,380	252,380	252,380	252,380	252,380	252,380	$ 3,028,560.00
5000	Operations Manager	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 2,773.33	$ 33,279.96
5010	Management Fees	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 15,142.80	$ 181,713.60
5020	Property Manager	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 5,333.25	$ 63,999.00
5012	Maintenance Manager	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 5,039.49	$ 60,473.88
5030	Leasing/Resident Srvcs/Assist Manag.	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 8,053.71	$ 96,644.52
5040	Maintenance /Porter Salaries	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 11,037.86	$ 132,454.32
5060	Employee Benefits	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 3,319.95	$ 39,839.40
5100	Advertising	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 24,000.00
5110	Office Supplies	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 9,000.00
5111	Office Equipment Contract	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 400.00	$ 4,800.00
5119	Monthly Newsletter	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 85.95	$ 1,031.40
5120	Dues & Subscriptions	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 104.16	$ 1,249.92
5140	Telephone & Ans. Service	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 484.00	$ 5,808.00
5141	Cable / Internet	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 145.66	$ 1,747.92
5190	Other Admin Expenses	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 950.00	$ 11,400.00
5191	Auto Expenses	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 6,000.00
5200	Maintenance & Repair	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 2,000.00	$ 24,000.00
5201	HVAC outsourced	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 600.00	$ 7,200.00
5202	HVAC Repairs/supplies	$ 750.00	$ 750.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 750.00	$ 750.00	$ 7,000.00
5204	Doors/Hardware/Ceiling Fans/Misc	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 4,200.00
5210	Painting / Drywall Contract	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 6,000.00
5211	Paint/Drywall Supplies	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 1,250.00	$ 15,000.00
5222	Pump and Pond repair outsourced	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 6,000.00
5230	Janitorial outsourced	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 5,400.00

5231	Janitorial Supplies	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 250.00	$ 3,000.00
5232	Cleaning / Trash-out	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 150.00	$ 1,800.00
5240	Lawn Care Contract	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 3,975.00	$ 47,700.00
5250	Plumbing outsourced	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 1,000.00	$ 12,000.00
5251	Plumbing Supplies	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 450.00	$ 5,400.00
5260	Security Contract	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 23,000.00	$ 276,000.00
5270	Building Supplies	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 14,400.00
5289	Carpet Replacement	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 1,500.00	$ 18,000.00
5290	Other Operation Expenses	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 1,200.00	$ 14,400.00
5291	Tenant Overpayments													
5292	HANO Overpayments													
5293	DHAP Overpayments													
5294	Electrical repairs Outsourced	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 350.00	$ 4,200.00
5295	Electric Supplies	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 512.00	$ 6,144.00
5300	Electricity	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 9,756.45	$ 117,077.40
5310	Water	$ 6,611.14	$ 6,900.00	$ 7,200.00	$ 7,200.00	$ 7,200.00	$ 7,500.00	$ 7,500.00	$ 7,500.00	$ 7,800.00	$ 7,800.00	$ 7,800.00	$ 7,800.00	$ 88,811.14
5311	Sewer	$ 8,888.25	$ 8,888.25	$ 11,800.00	$ 11,800.00	$ 11,800.00	$ 12,000.00	$ 12,000.00	$ 12,000.00	$ 12,300.00	$ 12,300.00	$ 12,300.00	$ 8,888.25	$ 134,964.75
5320	Trash Collection	$ 2,400.00	$ 2,400.00	$ 2,750.00	$ 2,400.00	$ 2,400.00	$ 2,750.00	$ 2,400.00	$ 2,400.00	$ 2,750.00	$ 2,400.00	$ 2,400.00	$ 2,750.00	$ 30,200.00
5401	Mileage Expenses /Petty Cash	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 50.00	$ 600.00
5412	Bank Recon Adjustments													
5440	Legal Expenses	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 750.00	$ 9,000.00
5540	Pool Contract	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 6,000.00
5541	Pool Supplies	$ 150.00	$ 150.00	$ 230.00	$ 150.00	$ 150.00	$ 230.00	$ 150.00	$ 150.00	$ 230.00	$ 150.00	$ 150.00	$ 230.00	$ 2,120.00
5550	Pest Control Contract	$ 650.00	$ 650.00	$ 650.00	$ 650.00	$ 650.00	$ 650.00	$ 650.00	$ 650.00	$ 650.00	$ 650.00	$ 1,175.00	$ 650.00	$ 8,325.00
7990	Uniforms / Rugs/Entrance	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 500.00	$ 6,000.00
		$ 126,363.00	$ 126,651.86	$ 130,043.61	$ 129,613.61	$ 129,613.61	$ 130,543.61	$ 130,113.61	$ 130,113.61	$ 131,143.61	$ 130,713.61	$ 131,488.61	$ 127,981.86	$ 1,554,384.21
	NET Income													$ 1,474,175.79

Account #	
4000	Revenue at 100%
4002	Month -to-month
4060	
4100	
4030	Current application fee is 30 for individual and 50 for dual applicants
4010	
4490	Lilly Pad Rental, Gate Card, Collection agency
5000	Include: Operation Manager @20 hrs per week - includes FICA, FUTA, SUTA, W/C General liability and processing fee
5010	Based upon collection of rent
5020	Property Manager - includes FICA, FUTA, SUTA, W/C, G/L and processing fee
5012	Maintenance manager-includes FICA, FUTA, SUTA, W/C, G/L and processing fee
5030	Include Leasing agent (1), Leasing agent (2) Assist Manager/ bookeeper (3) Resident Services Coordinator, includes FICA, FUTA, SUTA, W/C, G/L
5040	Maintenance 1(A/C certified), Maintenance 2(Painter), Grounds Porter, : emp.burden includes FICA, FUTA, SUTA, W/C, G/L
5060	Switched Healthcare provider reduction from 6020.81 to 4760.59 per month. Reduced less Lisa Diggs and adjusted percentage.
5100	Reduction in Advertisment alternate between Television and Radio
5110	Misc supplies, paper pens etc. Office Depot, Peachtree office products
5111	Copier lease includes maintenance
5119	Peachtree office Products - Reduced the number of community Newsletter sent out each month
5120	Apartment Association
5140	Multiple lines in leasing office, security and entrance gate, CPU2 answering service
5141	Cable internet
5190	Domin 8 (Criminal,Eviction and Credit Back ground Checks), Kentwood water
5191	Auto and Insurance expense for Leasing ofice and Maintenance department vehicle.
5200	Spplies from: Mack Wholesale Plumbing, Eddies Ace Hardware, Ideal Appliance
5201	Misc. repairs completed by a hired HVAC vendor
5202	Misc. filters capacitors, guages, refridgerant, etc
5204	General Electric appliance repair
5210	Repair's associated with misc. wear and tear, make ready, emergency damage repair
5211	Supplies needed for in-house maintenance staff repair
5222	Based upon prior year expenditures
5230	Top-to-Bottom (common areas, Apartment make-ready)

5231	Supplies needed for routine grounds/office and common area maintenance
5232	Carpet shampoo, stain removal , furniture removal, etc. (apartment)
5240	Reduced budget to reflect contract amount, annual beautification, mulching, etc
5250	Roto Rooter Services Co. / D. Frye Co. / Mud-Bugs Plumbing)
5251	Supply needed for in house maintenance plumbing repair
5260	Security Guard Services
5270	Misc building supplies, lumber, tools, brushes, drop cloths, drills, drywall, etc.
5289	Sherwin-Williams carpet repair/replacement
5290	Misc repair Projects not routine maintenance, Misc. accessories (tables-chairs, furniture, etc), Pool and patio, Lilly Pad, Multipurpose building, Seasonal decorating
5291	
5292	
5293	
5294	Current Electric, Inc.
5295	Electric supplies for common area lighting, Leasing office, Lilly Pad, Multipurpose bldg, 3 laundry mats, pumps for ponds and pools
5300	
5310	6611.14/345 units=$19.16 per month less usage from common areas.
5311	
5320	Richards Disposal The additional $350.00 for every 3rd month is for disposal of 30yrd container utilized by residents for larger items.
5401	
5412	
5440	First City Court, Lambert Bossiere - Evictions
5540	Consolidated Maintenance Services provides pool maintenance 2X's per week monthly on 4 pools and consults on repairs
5541	Willow brook purchases chemicals, Chlorine, etc from Clearwater Supplies for monthly pool maint.
5550	Termite renewal and routine pest control maintenance
7990	Cintas
	NET INCOME

Willow Brook Management
Staff Composition

Name		Position	Salary Hourly Wages	EMPLOYERS BURDEN FICA	FUTA	SUI	W/C	G/L	Bill Rate
Aloha Small	5020	Property Manager	$ 961.53	7.65%	0.80%	2.50%	4.61%	2.44%	$1,230.75
Shelita Harrell	5030	Leasing Agent	$ 10.94	7.65%	0.80%	2.50%	4.61%	2.44%	$560.12
Sharon Stewart	5030	Leasing /Assist Manager	$ 12.86	7.65%	0.80%	2.50%	4.61%	2.44%	$658.43
Tiffany Clayton	5030	RSC / Admin Assist/M/L office	$ 12.50	7.65%	0.80%	2.50%	4.61%	2.44%	$640.00
Brian Tenette (P/T)	5000	Operations Manager	$ 500.00	7.65%	0.80%	2.50%	4.61%	2.44%	$640.00
Charles Nunnery	5021	Maintenance Manager	$ 908.57	7.65%	0.80%	2.50%	4.61%	2.44%	$1,162.96
Michael Clayton	5040	Maintenance Technician I	$ 15.75	7.65%	0.80%	2.50%	4.61%	2.44%	$806.40
Coy Marshall	5040	Maintenance Technician II	$ 12.00	7.65%	0.80%	2.50%	4.61%	2.44%	$614.40
Michael Jenkins	5040	Maintenance Technician II	$ 12.00	7.65%	0.80%	2.50%	4.61%	2.44%	$614.40
George Feurtado	5040	Porter	$ 10.00	7.65%	0.80%	2.50%	4.61%	2.44%	$512.00

LOUISIANA HOUSING FINANCE AGENCY

The following resolution was offered by _____and seconded by _____:

RESOLUTION

A resolution authorizing the Louisiana Housing Finance Agency ("Agency") to extend the contract for the property management of the Agency owned property, Willowbrook Apartment Community; and providing for other matters in connection therewith.

WHEREAS, in November of 1995, the Louisiana Housing Finance Agency (the "LHFA) acquired Willowbrook Apartments, located in New Orleans East,, as part of a property disposition program sponsored by the United States Department of Housing and Urban Development ("HUD"); and

WHEREAS, in 2005, Hurricane Katrina inflicted severe damage to the property; and

WHEREAS, the LHFA partnered with the Office of Facility Planning and Control (the "FPC") and the Federal Emergency Management Agency ("FEMA") to rehabilitate Willowbrook starting in 2006; and

WHEREAS, the LHFA contracted with Nationwide Real Estate Corporation and ETI, Inc., d/b/a Willowbrook Management Inc., to manage operations at Willowbrook Apartments after the completion of rehabilitation of the property on March 17, 2008 (for a term of (X) years); and

WHEREAS, by resolution of the Board of Commissioners at the January 2011 LHFA Board of Commissioners Meeting, the contract with Willowbrook Management Inc., was extended ninety (90) days, and

WHEREAS, the Agency desires to extend the contract for an additional six (6) months or until such time as a Request for Proposals can be issued and a successful proposer chosen to manage the property and provide for the transition of property management services; and

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the Louisiana Housing Finance Agency ("Board"), acting as the governing authority of said Agency, that:

SECTION 1: The contract for property management services at Willowbrook

Apartments by and between the LHFA and Willowbrook Management Inc., shall be extended for a term not to exceed six (6) months beyond the term of the current extension, or until such time as a Request for Proposals can be issued and a successful proposer chosen to manage the property.

SECTION 2: The Agency staff and counsel are authorized and directed to prepare such documents and agreements as may be necessary to implement the approved actions.

SECTION 3: The Chairman, Vice-Chairman, President, Vice-President, and/or Secretary of the Agency be hereby authorized, empowered and directed to execute any forms and/or documents required to be executed on behalf of and in the name of the Agency, the terms of which are to be consistent with the provisions of this resolution as approved by the Agency's counsel.

This resolution having been submitted to a vote, the vote thereon was as follows:

YEAS:

NAYS:

ABSENT:

And the resolution was declared adopted on this, the 8th day of June, 2011.

Chairman	Secretary

STATE OF LOUISIANA

PARISH OF EAST BATON ROUGE

I, the undersigned Secretary of the Board of Commissioners of the Louisiana Housing Finance Agency (the "Agency"), do hereby certify that the foregoing two pages (2) constitutes a true and correct copy of a resolution adopted by said Board of Commissioners on June 8, 2011, entitled: "**A resolution authorizing the Louisiana Housing Finance Agency ("Agency") to extend the contract for the property management of the Agency owned property, Willowbrook Apartment Community; and providing for other matters in connection therewith.**

IN FAITH WHEREOF, witness my official signature and the impress of the official seal of the Agency on this, the 8th day of June, 2011.

_____
Secretary

(SEAL)

POST
ARCHITECTS

12032 Bricksome Avenue
Baton Rouge, La. 70816
225 293.6964
Fax 225 293.5189
www.postarchitects.com

EOA
ARCHITECTS
humanizing design®

400 Fourth Ave. South
Nashville, Tn. 37201
615 242.4004
Fax 615 256.9805
www.eoa-architects.com

FIELD REPORT

DATE: **April 19, 2011**

PROJECT: **Mid City Gardens**

CONTRACTOR: **D. Honoré Construction**

WEATHER: Clear **Partly-Cloudy** Cloudy Lt. Rain Hd. Rain

TEMPERATURE: **89 Degrees**

Activities:

1. Monthly Owner/Architect/Contractor meeting held. Attendees: Dr. Roger Tijerino (LHFA); Dave Rhiner, Carrol Lazard and Kevan Cullins (DHC); Mike Robichaux (RAA - Structural); Kirk Simoneaux and Kent Gasperecz (AST - Mechanical, Electrical); Bruce Dyson (GOTECH – Civil).
2. Discussed:
   a. Changes to Clearspan shop drawings were sent to DHC.
   b. Need VE documentation from DHC for CO No. 1 (in progress - ready next week). Final VE package under review by DHC.
   c. DPW permit set for right-of-way work, in progress.
   d. Detail 13S2.3 – need more information.
3. Reviewed RFIs, RFCs, RFPs and Submittals.
   a. All RFIs should be closed out today.
   b. Working on submittals.
4. Reviewed Schedule: substantial completion Nov. 15, 2011. Made up a few days.
   a. Plan to pour Buildings 4 and 5 grade beams April 22, 2011.
   b. Building 1 slab pour scheduled for Monday, April 25, 2011.
   c. Hope to pour last slab at Building 6 on May 6, 2011.
   d. Reminded DHC to compact all excavated fill in six inch lifts.
5. Construction progress review:
   a. Building 1 – Electrical rough in, sub requested verification of floor outlet locations prior to Thursday if corrections are required; some rebar will need to be repaired prior to slab pour.
   b. Buildings 2 and 3 slabs poured, need to clean up around some pipe penetrations.
   c. Building 4 – grade beam excavation in progress.
   d. Building 5 – plumbing rough-in in progress, spread footings have been poured.
   e. Building 6 – no activity.

Site Photos:
See Attached Photos (1-33).

Reported by:
Lisa H. Nice, AIA, LEED AP

U:\1001 Capital City South Apartments\02 Docs\Field Reports\Word Versions\2011_0419-Field Report.doc

Mid City Site Photos

1001 Cap City South_041911-01

1001 Cap City South_041911-02

1001 Cap City South_041911-03

1001 Cap City South_041911-04

1001 Cap City South_041911-05

1001 Cap City South_041911-06

Photos by Post Architects

Mid City Site Photos

1001 Cap City South_041911-07

1001 Cap City South_041911-08

1001 Cap City South_041911-09

1001 Cap City South_041911-10

1001 Cap City South_041911-11

1001 Cap City South_041911-12

Photos by Post Architects

Mid City Site Photos

1001 Cap City South_041911-13

1001 Cap City South_041911-14

1001 Cap City South_041911-15

1001 Cap City South_041911-16

1001 Cap City South_041911-17

1001 Cap City South_041911-18

Photos by Post Architects

Mid City Site Photos

1001 Cap City South_041911-19

1001 Cap City South_041911-20

1001 Cap City South_041911-21

1001 Cap City South_041911-22

1001 Cap City South_041911-23

1001 Cap City South_041911-24

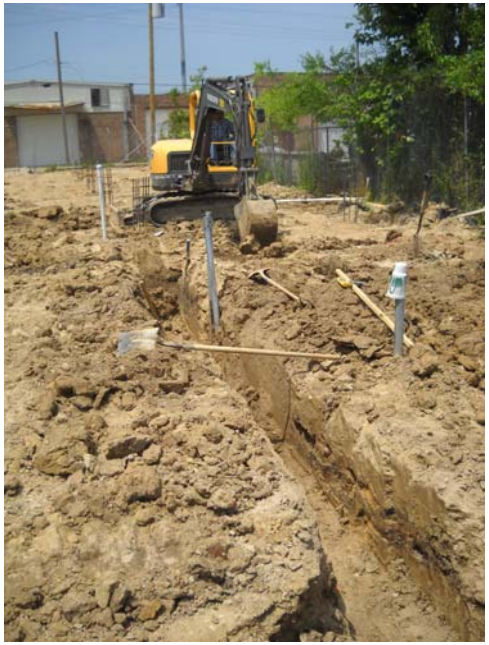
Photos by Post Architects

Mid City Site Photos

1001 Cap City South_041911-25

1001 Cap City South_041911-26

1001 Cap City South_041911-27



1001 Cap City South_041911-28

1001 Cap City South_041911-29

1001 Cap City South_041911-30

Photos by Post Architects

Mid City Site Photos

1001 Cap City South_041911-31

1001 Cap City South_041911-32

1001 Cap City South_041911-33

Photos by Post Architects

POST
ARCHITECTS

12032 Bricksome Avenue
Baton Rouge, La. 70816
225 293.6964
Fax 225 293.5189
www.postarchitects.com

EOA
ARCHITECTS
humanizing design®

400 Fourth Ave. South
Nashville, Tn. 37201
615 242.4004
Fax 615 256.9805
www.eoa-architects.com

FIELD REPORT

DATE: **April 26, 2011**

PROJECT: **Mid City Gardens**

CONTRACTOR: **D. Honoré Construction**

WEATHER: **Clear** Partly-Cloudy Cloudy Lt. Rain Hd. Rain

TEMPERATURE: **88 Degrees**

Activities:

1. Weekly progress meeting held on site with Dwayne Honore', Dave Rhiner and Carrol Lazard of DHC.
2. Discussed:
   a. Coordination between wall panels and window rough openings is complete. Corrected drawings sent yesterday. Awaiting resubmittal from Clearspan for final approval/confirmation of changes.
   b. Received VE documentation from DHC for CO No. 1 this morning. Will review and forward to Owner.
   c. DPW permit set for right-of-way work, submitted for review this week.
   d. Entergy not responding to Carrol. Need direction on where to stop conduit for their tie-in and other coordination items. Post will try to contact David Brewer.
   e. Carrol needs direction on tie-in of downspouts to drainage pipe.
   f. Residential cabinets will be supplied by Republic.
3. Reviewed RFIs, RFCs, RFPs and Submittals.
   a. No outstanding RFIs.
   b. Working on RFCs review.
   c. Working on submittals - Hollow Metal Frames are urgent.
   d. RFP #8 - reviewed request and discussed required revisions for final submittal. Discussed request for payment of off-site stored materials by drywall sub, TSC.
4. Schedule: no change from last submitted.
5. Construction progress review:
   a. Site conditions - wet, muddy, could not walk site due to rain previous day.
   b. Building 1 – slab poured.
   c. Buildings 2 and 3 - concrete columns poured.
   d. Building 4 – plumbing rough-in and grade beams appear to be completed.
   e. Building 5 – plumbing rough-in and grade beams appear to be completed.
   f. Building 6 – no activity.
6. See also attached various consultant field/observation reports.

Site Photos:
See Attached Photos (1-20).

Reported by:
Lisa H. Nice, AIA, LEED AP

U:\1001 Capital City South Apartments\02 Docs\Field Reports\Word Versions\2011_0426-Field Report.doc

Mid City Construction Progress

1001 Cap City South_042611-01

1001 Cap City South_042611-02

1001 Cap City South_042611-03

1001 Cap City South_042611-04

1001 Cap City South_042611-05

1001 Cap City South_042611-06

Photos by Post Architects

Mid City Construction Progress

1001 Cap City South_042611-07

1001 Cap City South_042611-08

1001 Cap City South_042611-09

1001 Cap City South_042611-10

1001 Cap City South_042611-11

1001 Cap City South_042611-12

Photos by Post Architects

Mid City Construction Progress

1001 Cap City South_042611-13

1001 Cap City South_042611-14

1001 Cap City South_042611-15

1001 Cap City South_042611-16

1001 Cap City South_042611-17

1001 Cap City South_042611-18

Photos by Post Architects

Mid City Construction Progress

1001 Cap City South_042611-19

1001 Cap City South_042611-20

Photos by Post Architects

Engineer's Field Report

Project Name:
Mid City Gardens I & II Residential
(Replacement of Capital City South Apartments)
A New Mixed Use Project in South Baton Rouge for
Louisiana Housing Finance Agency

Engineer's Project No. 10-7438

Observers:

Field Report Number: 001
Page 1 of 1

Kirk J. Simoneaux, P.E.
A. Kent Gasperecz

DATE: 02/15/11 TIME: 11:00 a.m. WEATHER: Sunny (60°F)

OBSERVATIONS:

MECHANICAL

1.1 Attended monthly progress meeting.

A. Update on Mechanical Shop Drawings.

1. Residential:

a. Mechanical Systems RS-15000.02 – returned 2/2/11

b. Plumbing Fixtures and Accessories R-15050 – will return next week.

2. Activity Center:

a. Sheet Metal Work 15020-02 – returned 2/2/11.

b. Plumbing Fixtures 15070-01 – will return next week.

1.2 Walked around site after meeting.

A. Underground plumbing work just beginning on Activity Center. Plumbing Contractor apparently fabricating some below grade sanitary piping in shop and transporting to field.

B. No Mechanical work has begun at Residential site.

ELECTRICAL

1.3 Install conduit per Specifications 16010, 2.7, B and C:

"2.7 B. All multiple runs of cable and/or conduit routed underground or underslab must be spaced no closer than 2 inches. Provide pre-molded vertical and horizontal spacers to maintain uniform spacing of the installed system."

"2.7 C. All conduit passing through or rising from underground or in slab runs or otherwise entering the building shall have rigid metal conduit, rigid metal risers, rigid metal ells and bends and be connected with adapters designed for the purpose."

Distributed to:

Lisa Nice, Post Architects
Job Specific E-Mails

Ragland Aderman & Associates
STRUCTURAL ENGINEERING

James A. Ragland, P.E.
Michael V. Aderman, P.E.
Thomas M. Wafer, P.E.
Peter R. Bowlin, P.E.

Staff Consultant
C. Dale Buckner, P.E.

Field Report:

Project: **Mid-City Gardens Activity Center** **Project No.: 56 2010003**

Report No: 1
Site Visit Date: 3/17/2011
Location: Job Site
Attendees: Tom Wafer

Weather: Partly Cloudy / Warm

Work in Progress:

Prep for pouring spread footing. Pour scheduled for today.

Rebar in place, looked correct.

Some organic material in upper layers of soil, that should have been removed.

Items/Questions:

There is organic material in upper layers of some soil that should be removed prior to slab pour. Will talk to contractor about this.

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

Ragland Aderman & Associates
STRUCTURAL ENGINEERING

James A. Ragland, P.E.
Michael V. Aderman, P.E.
Thomas M. Wafer, P.E.
Peter R. Bowlin, P.E.

Staff Consultant
C. Dale Buckner, P.E.

Field Report: Foundation Pre-Pour Inspection

Project: Capital City South (Apartments) **Project No.:** 2010003

Report No: **002 (Apartments)**
Site Visit Date: **4/4/2011**
Location: **Buildings 2 (grade beams)**
Attendees: Carrol Lazard (D. Honore' Construction, LLC)
Mike Robichaux (Ragland-Aderman & Associates, Inc.)
Payton Hyman (Ragland-Aderman & Associates, Inc.)

Weather: Sunny, Warm & Dry

Equipment on Site: **Back-hoe, Concrete Pump Truck, Termite Chemical**

Work in Progress:

1. Carrol Lazard requested a site inspection of prepared holes for foundation pours at the apartment building, Buildings 2.
2. Based on observations, the following items required remediation before concrete pours could be made; see comments from 4/4 below.

Observations:

Field notes from walk-down of footings for Buildings 2 & 3 indicate the following deficiencies.

1. At locations of all anchor bolts with corner pedestal reinforcing required setting horizontal tie sets around anchor bolts. All were missing or inappropriately installed. None had the required two (2) sets at top, and none had sets evenly spaced. Most pedestal ties had been removed to install preset grade beam cages and were not reinstalled.
2. No block-out for brick ledges were set.
3. Grade beam placement in the excavations were not set such that the anchor bolt cages set inside of grade beams and inside of wall.
4. Grade beam cages were set with all plumbing in the brick ledge and not in the wall locations.

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

It was decided that a further inspection would be necessary prior to the pour, but based on progress to remediate these deficiencies, the pour for this day was cancelled. A new notice of intent to pour will be issued when reinforcing and form work is properly prepared. See attached pictures below.

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

Ragland Aderman & Associates
STRUCTURAL ENGINEERING

James A. Ragland, P.E.
Michael V. Aderman, P.E.
Thomas M. Wafer, P.E.
Peter R. Bowlin, P.E.

Staff Consultant
C. Dale Buckner, P.E.

Field Report: Foundation Pre-Pour Inspection

Project: Capital City South (Community Center) **Project No.:** 2010003

Report No: **002 (Community Center)**
Site Visit Date: **4/13/2011**
Location: **Community Center (grade beams)**
Attendees: Carrol Lazard (D. Honore' Construction, LLC)
Mike Robichaux (Ragland-Aderman & Associates, Inc.)

Weather: Sunny, Warm & Dry

Equipment on Site: **N/A**

Work in Progress:

1. Carrol Lazard requested a site inspection of prepared holes for foundation pours at the community center building, Building 1.
2. Based on observations, the following items were noted as appropriate and/or were noted to required remediation prior to the pour.

Observations:

1. Grade Beam inspection reveals placement of reinforcing steel with appropriate ties.
2. Plumbing pipe penetrations require sleeves and/or wrapped with foam wrap to prevent concrete binding to pipes. This item must be finished before pour.
3. Vapor barrier must be installed and draped in the excavations to lap with slabs.
4. Ties to grade beams at walls of elevator pit will be blocked-off and poured at a later time.
5. Anchor bolt templates and anchor bolts must be set in appropriate locations and at correct elevations prior to pour.

Photographs below document pre-pour conditions for the excavations.

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

Engineer's Field Report

ASSAF, SIMONEAUX, TAUZIN & ASSOCIATES, INC.
consulting engineers

Project Name:
Mid City Gardens I & II Residential
(Replacement of Capital City South Apartments)
A New Mixed Use Project in South Baton Rouge
for Louisiana Housing Finance Agency

Engineer's Project No. 10-7438

Observer:

Kirk J. Simoneaux, P.E.

Field Report Number: 002

DATE: 04/14/2044 TIME: 2:30 p.m. WEATHER: Partly Cloudy (84ºF)

OBSERVATIONS:

2.1 Visited site at the request of Carroll to observe mechanical rough-ins prior to concrete pour for Buildings 2 and 3.

2.2 All plumbing rough-ins appear to be complete. Contractor is cautioned to verify all lines are plumb before concrete pour occurs. See Photo's A, C and D.

2.3 PVC sleeves have been installed for routing of refrigerant lines. These rough-ins to also be plumb (vertical portion) and level (horizontal portion) before concrete pour occurs.

2.4 Also observed plumbing rough-ins for the Activity Building. Building grade beams were poured yesterday. This slab pour will occur sometime next week. Once again Contractor is cautioned to verify all rough-ins are plumb and level before pour occurs. See Photo's E, F and G.

Distributed to:

Lisa Nice, Post Architects
Job Specific E-Mails

Engineer's Field Report

ASSAF, SIMONEAUX, TAUZIN & ASSOCIATES, INC.
consulting engineers

Project Name:
Mid City Gardens I & II Residential
(Replacement of Capital City South Apartments)
A New Mixed Use Project in South Baton Rouge
for Louisiana Housing Finance Agency

Engineer's Project No. 10-7438

Observer:

Kirk J. Simoneaux, P.E.

Field Report Number: 002

Photo A

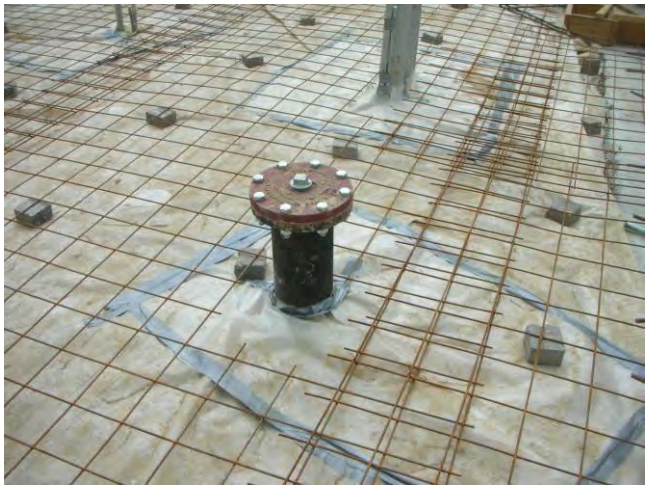


Photo B

Photo C

Photo D

Engineer's Field Report

ASSAF, SIMONEAUX, TAUZIN & ASSOCIATES, INC.
consulting engineers

Project Name:
Mid City Gardens I & II Residential
(Replacement of Capital City South Apartments)
A New Mixed Use Project in South Baton Rouge
for Louisiana Housing Finance Agency

Engineer's Project No. 10-7438

Observer:

Kirk J. Simoneaux, P.E.

Field Report Number: 002

Photo E

Photo F

Photo G

Ragland Aderman & Associates
STRUCTURAL ENGINEERING

James A. Ragland, P.E.
Michael V. Aderman, P.E.
Thomas M. Wafer, P.E.
Peter R. Bowlin, P.E.

Staff Consultant
C. Dale Buckner, P.E.

Field Report: Foundation Pre-Pour Inspection

Project: Capital City South (Apartments) **Project No.:** 2010003

Report No: **004 (Apartments)**
Site Visit Date: **4/20/2011**
Location: **Building 2 & 3 (slabs)**
Attendees: Carrol Lazard (D. Honore' Construction, LLC)
Mike Robichaux (Ragland-Aderman & Associates, Inc.)

Weather: Sunny, Warm & Dry

Equipment on Site: **N/A**

Work in Progress:

1. Carrol Lazard requested a site inspection of prepared holes for foundation pours at the apartment building, Building 2 & 3.
2. Based on observations, either no exceptions were taken.

Observations:

1. Slab vapor barriers are draped lapped to barriers at grade beams.
2. Slab reinforcing is present and appropriately supported.
3. Penetrations are wrapped and/or sleeved at plumbing penetrations.
4. Sono-tube forms are present with ties and reinforcing. Any required anchors must be installed prior to the pour.

Photographs below document pre-pour conditions for the excavations.

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

Ragland Aderman & Associates
STRUCTURAL ENGINEERING

James A. Ragland, P.E.
Michael V. Aderman, P.E.
Thomas M. Wafer, P.E.
Peter R. Bowlin, P.E.

Staff Consultant
C. Dale Buckner, P.E.

Field Report: Foundation Pre-Pour Inspection

Project: Capital City South (Apartments) **Project No.:** 2010003

Report No: **005 (Apartments)**
Site Visit Date: **4/20/2011**
Location: **Building 4 (grade beams)**
Attendees: Carrol Lazard (D. Honore' Construction, LLC)
Mike Robichaux (Ragland-Aderman & Associates, Inc.)

Weather: Sunny, Warm & Dry

Equipment on Site: **N/A**

Work in Progress:

1. Carrol Lazard requested a site inspection of prepared holes for foundation pours at the apartment building, Building 4.
2. Based on observations, no exceptions were taken.

Observations:

1. Grade Beam inspection reveals placement of reinforcing steel with appropriate ties.
2. Plumbing pipe penetrations are sleeved and/or wrapped with foam wrap to prevent concrete binding to pipes.
3. Vapor barrier is draped in the excavations to lap with slabs.

Photographs below document pre-pour conditions for the excavations.

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

3888 Government St., Suite 100 • Baton Rouge, LA 70806
(225)343-4129 • (225)343-8968 FAX • raa@raaengineers.com

POST
ARCHITECTS

12032 Bricksome Avenue
Baton Rouge, La. 70816
225 293.6964
Fax 225 293.5189
www.postarchitects.com

EOA
ARCHITECTS
humanizing design®

400 Fourth Ave. South
Nashville, Tn. 37201
615 242.4004
Fax 615 256.9805
www.eoa-architects.com

FIELD REPORT

DATE: **May 3, 2011**

PROJECT: **Mid City Gardens**

CONTRACTOR: **D. Honoré Construction**

WEATHER: Clear Partly-Cloudy **Cloudy** **Lt. Rain** Hd. Rain

TEMPERATURE: **77 Degrees**

Activities:

1. Weekly progress meeting held on site with Dave Rhiner and Carrol Lazard of DHC.
2. Discussed:
   a. Window rough opening resolution. Awaiting official resubmittal from Clearspan for final approval/confirmation of changes.
   b. Last VE prices received this morning, can now begin to prepare Change Order No. 2.
   c. Downspout tie-in - need to coordinate with size of downspout (round); seal joint between downspout and drain line (cannot allow contaminants to be poured in to collection system).
   d. Entergy - no response.
3. Reviewed RFIs, RFCs, RFPs and Submittals.
   a. No outstanding RFIs.
   b. Working on RFCs review.
   c. Submittals - requested a second submittal of color chart for sheet metal work (15020-02), misplaced; still waiting on PDF of Sheet PV03 of solar submittal (13000-01).
4. Schedule: no major change from last submitted (April 19).
   a. Plan to pour Building 5 slab and Building 6 grade beams on Thursday, May 5th.
   b. Plan to pour Building 6 slab next Tuesday, May 10th.
5. Construction progress review:
   a. Site conditions - muddy, began raining prior to leaving site.
   b. Building 1 – slab poured.
   c. Buildings 2 and 3 - concrete columns poured.
   d. Building 4 – slab poured.
   e. Building 5 – slab pour prep in progress.
   f. Building 6 – rough-in, slab pour prep in progress.

Site Photos:
See Attached Photos (1-12).

Reported by:
Lisa H. Nice, AIA, LEED AP

U:\1001 Capital City South Apartments\02 Docs\Field Reports\Word Versions\2011_0503-Field Report.doc

Mid City Construction Progress

1001 Cap City South_050411-01

1001 Cap City South_050411-02

1001 Cap City South_050411-03

1001 Cap City South_050411-04

1001 Cap City South_050411-05

1001 Cap City South_050411-06

Photos by Post Architects

Mid City Construction Progress

1001 Cap City South_050411-07

1001 Cap City South_050411-08

1001 Cap City South_050411-09

1001 Cap City South_050411-10

1001 Cap City South_050411-11

1001 Cap City South_050411-12

Photos by Post Architects

POST
ARCHITECTS

12032 Bricksome Avenue
Baton Rouge, La. 70816
225 293.6964
Fax 225 293.5189
www.postarchitects.com

EOA
ARCHITECTS
humanizing design®

400 Fourth Ave. South
Nashville, Tn. 37201
615 242.4004
Fax 615 256.9805
www.eoa-architects.com

FIELD REPORT

DATE: **May 10, 2011**

PROJECT: **Mid City Gardens**

CONTRACTOR: **D. Honoré Construction**

WEATHER: Clear **Partly-Cloudy** Cloudy Lt. Rain Hd. Rain

TEMPERATURE: **90 Degrees**

Activities:

1. Prior to start of weekly meeting, representatives from Chutsz Electric and Carrol discussed the mounting rack configuration for the HVAC unit disconnect switches. Max height will be about 3 feet and width will be 3 to 4 feet. Based on this size limitation, the product submitted was approved. Reminded all that I did not want to see bowing of any kind.
2. Also talked to representatives for solar panels. They questioned if the equipment room could be rearranged to provide room for the disconnect switch on the left side of the equipment. Would consider, but need to verify ventilation equipment size/location and ensure the change does not interfere with door or any other items in the room.
3. Weekly progress meeting held on site with Dwayne Honore and Carrol Lazard of DHC.
4. Discussed:
   a. New DHC staffing for the project. Dave Rhiner is no longer with DHC. Jennifer Blunschi is the new Project Manager and Monica Fernadez will be handling submittal processing. Dwayne assured me that the transition would be smooth.
   b. Foundation drainage - where are drains required and where do they tie in? Will investigate and advise DHC.
5. Reviewed RFIs, RFCs, RFPs and Submittals.
   a. DHC received payment for RFP #7, #8 is in progress, and a draft of #9 will be submitted on the 24th of the month for review.
   b. Submittals - residential wall panels urgent, status? Comments returned to DHC, just awaiting submittal of record document with noted changes from DHC/Clearspan.
6. Schedule: no major change from last submitted (April 19).
7. Construction progress review:
   a. Site conditions - dry, no issues with work/access.
   b. Building 1 – CMU materials stored on site.
   c. Buildings 2 and 3 - steel column extensions in progress.
   d. Building 4 – columns formed and poured.
   e. Building 5 – slab poured, columns formed and poured.
   f. Building 6 – slab pour in progress at time of site visit.

Site Photos:
See Attached Photos (1-15).

Reported by:
Lisa H. Nice, AIA, LEED AP

U:\1001 Capital City South Apartments\02 Docs\Field Reports\Word Versions\2011_0510-Field Report.doc

Mid City Construction Progress

1001 Cap City South_051011-01

1001 Cap City South_051011-02

1001 Cap City South_051011-03

1001 Cap City South_051011-04

1001 Cap City South_051011-05

1001 Cap City South_051011-06

Photos by Post Architects

Mid City Construction Progress

1001 Cap City South_051011-07

1001 Cap City South_051011-08

1001 Cap City South_051011-09

1001 Cap City South_051011-10

1001 Cap City South_051011-11

1001 Cap City South_051011-12

Photos by Post Architects

Mid City Construction Progress

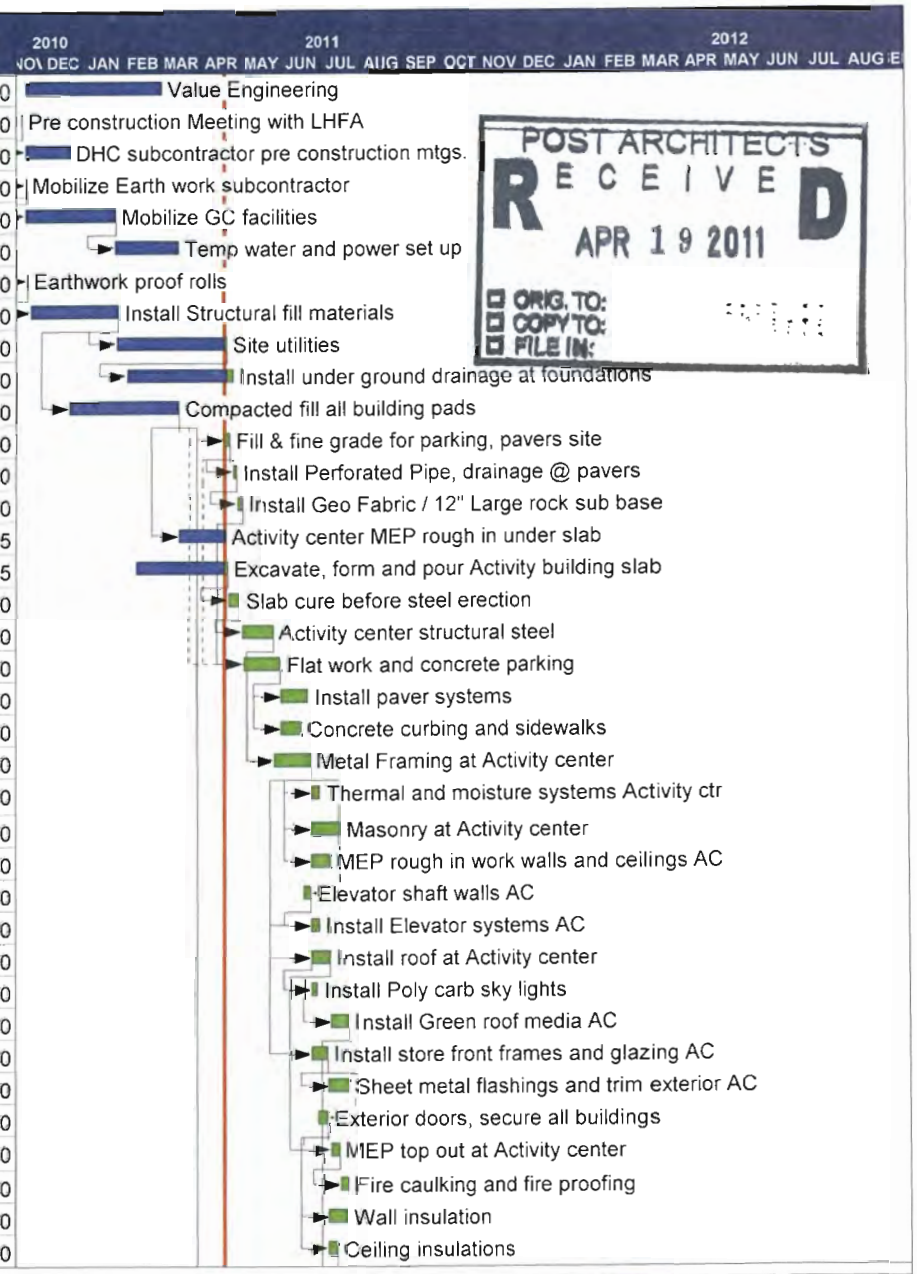
1001 Cap City South_051011-13

1001 Cap City South_051011-14

1001 Cap City South_051011-15

Photos by Post Architects

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	%
101	Value Engineering	103d	0	18NOV10 A	01MAR11 A	100
1000	Pre construction Meeting with LHFA	1d	0	15NOV10 A	15NOV10 A	100
1010	DHC subcontractor pre construction mtgs.	10d	0	18NOV10 A	21DEC10 A	100
1020	Mobilize Earth work subcontractor	1d	0	18NOV10 A	18NOV10 A	100
1030	Mobilize GC facilities	3d	0	18NOV10 A	25JAN11 A	100
1031	Temp water and power set up	2d	0	25JAN11 A	14MAR11 A	100
1040	Earthwork proof rolls	3d	0	19NOV10 A	19NOV10 A	100
1050	Install Structural fill materials	12d	0	22NOV10 A	27JAN11 A	100
1060	Site utilities	6d	2d3h	26JAN11 A	20APR11	60
1070	Install under ground drainage at foundations	3d	3d	03FEB11 A	25APR11	0
1080	Compacted fill all building pads	12d	0	21DEC10 A	14MAR11 A	100
1081	Fill & fine grade for parking, pavers site	5d	5d	18APR11	22APR11	0
1082	Install Perforated Pipe, drainage @ pavers	3d	3d	25APR11	27APR11	0
1083	Install Geo Fabric / 12" Large rock sub base	3d	3d	28APR11	02MAY11	0
1090	Activity center MEP rough in under slab	8d	1d2h	14MAR11 A	19APR11	85
1100	Excavate, form and pour Activity building	12d	3d	09FEB11 A	20APR11	75
1101	Slab cure before steel erection	7d	7d	21APR11	29APR11	0
1151	Activity center structural steel	18d	18d	02MAY11	25MAY11	0
1211	Flat work and concrete parking	20d	20d	03MAY11	30MAY11	0
1212	Install paver systems	15d	15d	31MAY11	20JUN11	0
1213	Concrete curbing and sidewalks	12d	12d	31MAY11	15JUN11	0
1218	Metal Framing at Activity center	20d	20d	26MAY11	22JUN11	0
1219	Thermal and moisture systems Activity ctr	5d	5d	23JUN11	29JUN11	0
1220	Masonry at Activity center	15d	15d	23JUN11	14JUL11	0
1245	MEP rough in work walls and ceilings AC	10d	10d	23JUN11	07JUL11	0
1270	Elevator shaft walls AC	4d	4d	17JUN11	22JUN11	0
1275	Install Elevator systems AC	5d	5d	23JUN11	29JUN11	0
1960	Install roof at Activity center	10d	10d	23JUN11	07JUL11	0
1965	Install Poly carb sky lights	3d	3d	23JUN11	27JUN11	0
2015	Install Green roof media AC	10d	10d	08JUL11	21JUL11	0
2025	Install store front frames and glazing AC	8d	8d	23JUN11	05JUL11	0
2031	Sheet metal flashings and trim exterior AC	12d	12d	06JUL11	21JUL11	0
2045	Exterior doors, secure all buildings	5d	5d	28JUN11	05JUL11	0
2050	MEP top out at Activity center	5d	5d	08JUL11	14JUL11	0
2100	Fire caulking and fire proofing	5d	5d	15JUL11	21JUL11	0
2110	Wall insulation	10d	10d	06JUL11	19JUL11	0
2120	Ceiling insulations	5d	5d	06JUL11	12JUL11	0



POST ARCHITECTS
RECEIVED
APR 19 2011
ORIG. TO:
COPY TO:
FILE IN:

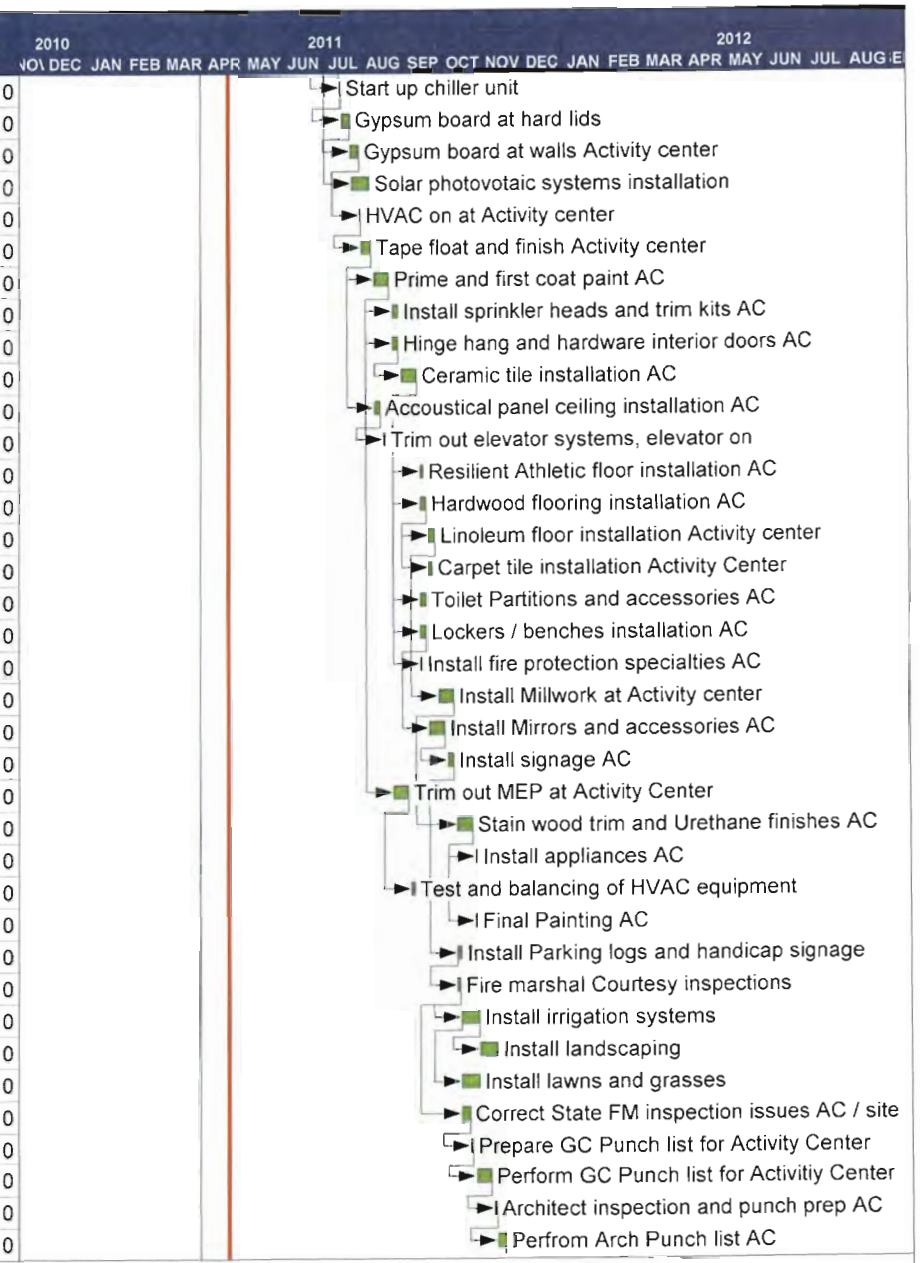
Start date	18NOV10
Finish date	23DEC11
Data date	18APR11
Run date	19APR11
Page number	1A

© Primavera Systems, Inc.

D. Honore' Construction
Mid City Gardens

Early bar
Progress bar
Critical bar
Summary bar
Start milestone point
Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	%
2125	Start up chiller unit	1d	1d	13JUL11	13JUL11	0
2130	Gypsum board at hard lids	5d	5d	14JUL11	20JUL11	0
2140	Gypsum board at walls Activity center	5d	5d	21JUL11	27JUL11	0
2151	Solar photovotaic systems installation	10d	10d	22JUL11	04AUG11	0
2175	HVAC on at Activity center	1d	1d	28JUL11	28JUL11	0
2180	Tape float and finish Activity center	6d	6d	29JUL11	05AUG11	0
2200	Prime and first coat paint AC	10d	10d	08AUG11	19AUG11	0
2201	Install sprinkler heads and trim kits AC	5d	5d	22AUG11	26AUG11	0
2210	Hinge hang and hardware interior doors AC	5d	5d	22AUG11	26AUG11	0
2260	Ceramic tile installation AC	10d	10d	29AUG11	09SEP11	0
2270	Accoustical panel ceiling installation AC	5d	5d	08AUG11	12AUG11	0
2275	Trim out elevator systems, elevator on	2d	2d	15AUG11	16AUG11	0
2280	Resilient Athletic floor installation AC	3d	3d	12SEP11	14SEP11	0
2300	Hardwood flooring installation AC	5d	5d	12SEP11	16SEP11	0
2310	Linoleum floor installation Activity center	5d	5d	19SEP11	23SEP11	0
2320	Carpet tile installation Activity Center	3d	3d	19SEP11	21SEP11	0
2330	Toilet Partitions and accessories AC	5d	5d	12SEP11	16SEP11	0
2331	Lockers / benches installation AC	5d	5d	12SEP11	16SEP11	0
2332	Install fire protection specialties AC	2d	2d	12SEP11	13SEP11	0
2333	Install Millwork at Activity center	10d	10d	26SEP11	07OCT11	0
2360	Install Mirrors and accessories AC	10d	10d	19SEP11	30SEP11	0
2361	Install signage AC	5d	5d	03OCT11	07OCT11	0
2370	Trim out MEP at Activity Center	10d	10d	22AUG11	02SEP11	0
2420	Stain wood trim and Urethane finishes AC	10d	10d	10OCT11	21OCT11	0
2430	Install appliances AC	2d	2d	24OCT11	25OCT11	0
2460	Test and balancing of HVAC equipment	3d	3d	05SEP11	07SEP11	0
2470	Final Painting AC	2d	2d	24OCT11	25OCT11	0
2500	Install Parking logs and handicap signage	4d	4d	10OCT11	13OCT11	0
2525	Fire marshal Courtesy inspections	3d	3d	10OCT11	12OCT11	0
2530	Install irrigation systems	10d	10d	13OCT11	26OCT11	0
2540	Install landscaping	10d	10d	27OCT11	09NOV11	0
2550	Install lawns and grasses	10d	10d	13OCT11	26OCT11	0
2560	Correct State FM inspection issues AC / site	5d	5d	13OCT11	19OCT11	0
3030	Prepare GC Punch list for Activity Center	2d	2d	20OCT11	21OCT11	0
3040	Perform GC Punch list for Activitiy Center	10d	10d	24OCT11	04NOV11	0
3050	Architect inspection and punch prep AC	2d	2d	07NOV11	08NOV11	0
3060	Perfrom Arch Punch list AC	5d	5d	09NOV11	15NOV11	0



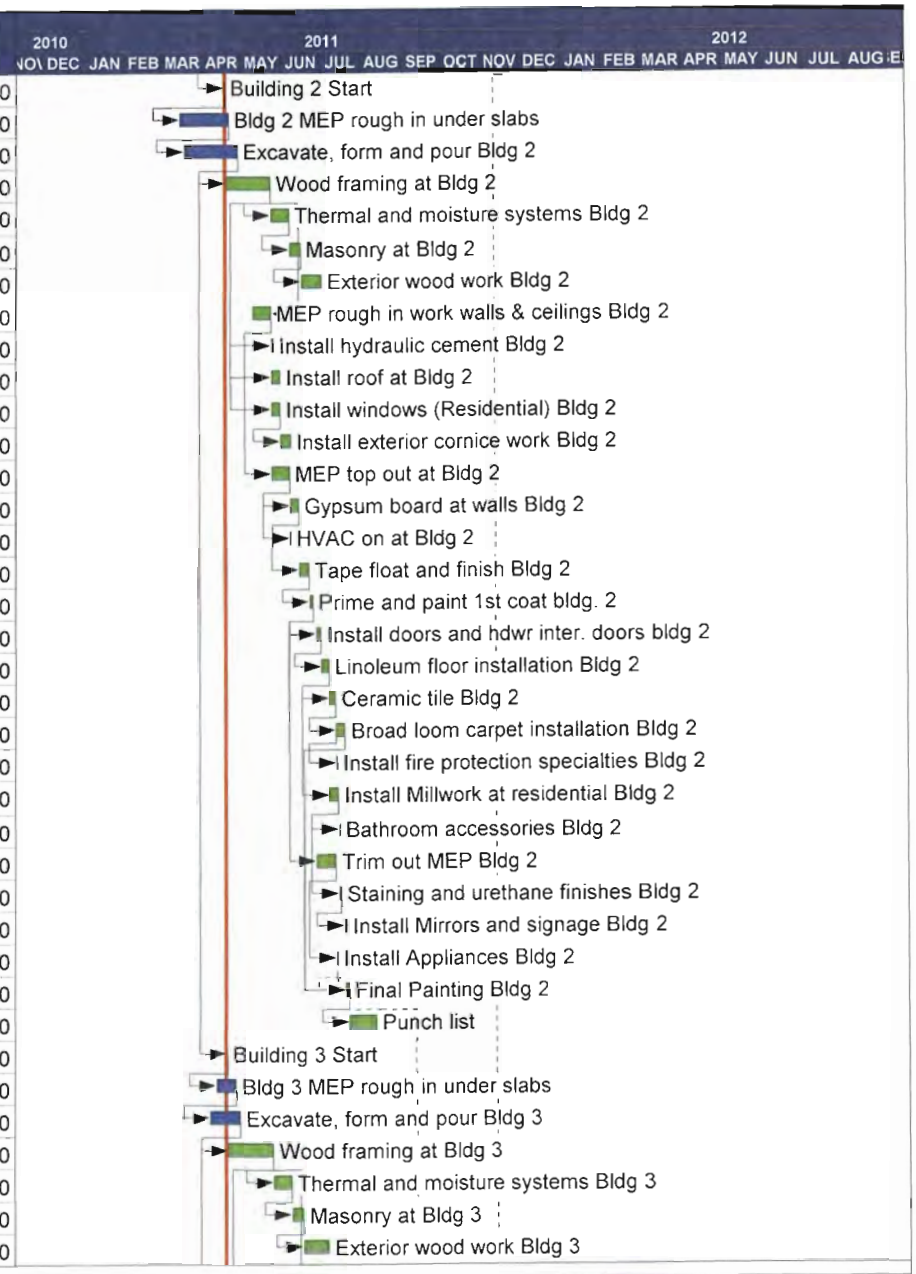
Start date	18NOV10
Finish date	23DEC11
Data date	18APR11
Run date	19APR11
Page number	2A

© Primavera Systems, Inc.

D. Honore' Construction
Mid City Gardens

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	%
B2	Building 2 Start	1d	1d	18APR11	18APR11	0
B2 4000	Bldg 2 MEP rough in under slabs	5d	0	15MAR11 A	21APR11 A	100
B2 4005	Excavate, form and pour Bldg 2	15d	0	18MAR11 A	28APR11 A	100
B2 4010	Wood framing at Bldg 2	25d	25d	19APR11	23MAY11	0
B2 4015	Thermal and moisture systems Bldg 2	10d	10d	24MAY11	06JUN11	0
B2 4020	Masonry at Bldg 2	7d	7d	07JUN11	15JUN11	0
B2 4025	Exterior wood work Bldg 2	12d	12d	16JUN11	01JUL11	0
B2 4030	MEP rough in work walls & ceilings Bldg 2	10d	10d	10MAY11	23MAY11	0
B2 4035	Install hydraulic cement Bldg 2	2d	2d	24MAY11	25MAY11	0
B2 4040	Install roof at Bldg 2	5d	5d	24MAY11	30MAY11	0
B2 4045	Install windows (Residential) Bldg 2	5d	5d	24MAY11	30MAY11	0
B2 4050	Install exterior cornice work Bldg 2	6d	6d	31MAY11	07JUN11	0
B2 4055	MEP top out at Bldg 2	10d	10d	24MAY11	06JUN11	0
B2 4060	Gypsum board at walls Bldg 2	5d	5d	07JUN11	13JUN11	0
B2 4065	HVAC on at Bldg 2	1d	1d	07JUN11	07JUN11	0
B2 4070	Tape float and finish Bldg 2	6d	6d	14JUN11	21JUN11	0
B2 4080	Prime and paint 1st coat bldg. 2	3d	3d	22JUN11	24JUN11	0
B2 4085	Install doors and hdwr inter. doors bldg 2	4d	4d	27JUN11	30JUN11	0
B2 4090	Linoleum floor installation Bldg 2	3d	3d	01JUL11	06JUL11	0
B2 4095	Ceramic tile Bldg 2	3d	3d	07JUL11	11JUL11	0
B2 4100	Broad loom carpet installation Bldg 2	5d	5d	12JUL11	18JUL11	0
B2 4110	Install fire protection specialties Bldg 2	1d	1d	12JUL11	12JUL11	0
B2 4115	Install Millwork at residential Bldg 2	5d	5d	07JUL11	13JUL11	0
B2 4120	Bathroom accessories Bldg 2	1d	1d	14JUL11	14JUL11	0
B2 4125	Trim out MEP Bldg 2	10d	10d	27JUN11	11JUL11	0
B2 4130	Staining and urethane finishes Bldg 2	2d	2d	14JUL11	15JUL11	0
B2 4135	Install Mirrors and signage Bldg 2	2d	2d	18JUL11	19JUL11	0
B2 4145	Install Appliances Bldg 2	1d	1d	12JUL11	12JUL11	0
B2 4155	Final Painting Bldg 2	3d	3d	19JUL11	21JUL11	0
B2 4200	Punch list	14d	14d	22JUL11	10AUG11	0
B3	Building 3 Start	1d	1d	19APR11	19APR11	0
B3 4000	Bldg 3 MEP rough in under slabs	8d	0	11APR11 A	26APR11 A	100
B3 4005	Excavate, form and pour Bldg 3	12d	0	06APR11 A	29APR11 A	100
B3 4010	Wood framing at Bldg 3	25d	25d	20APR11	24MAY11	0
B3 4015	Thermal and moisture systems Bldg 3	10d	10d	25MAY11	07JUN11	0
B3 4020	Masonry at Bldg 3	7d	7d	08JUN11	16JUN11	0
B3 4025	Exterior wood work Bldg 3	12d	12d	17JUN11	05JUL11	0



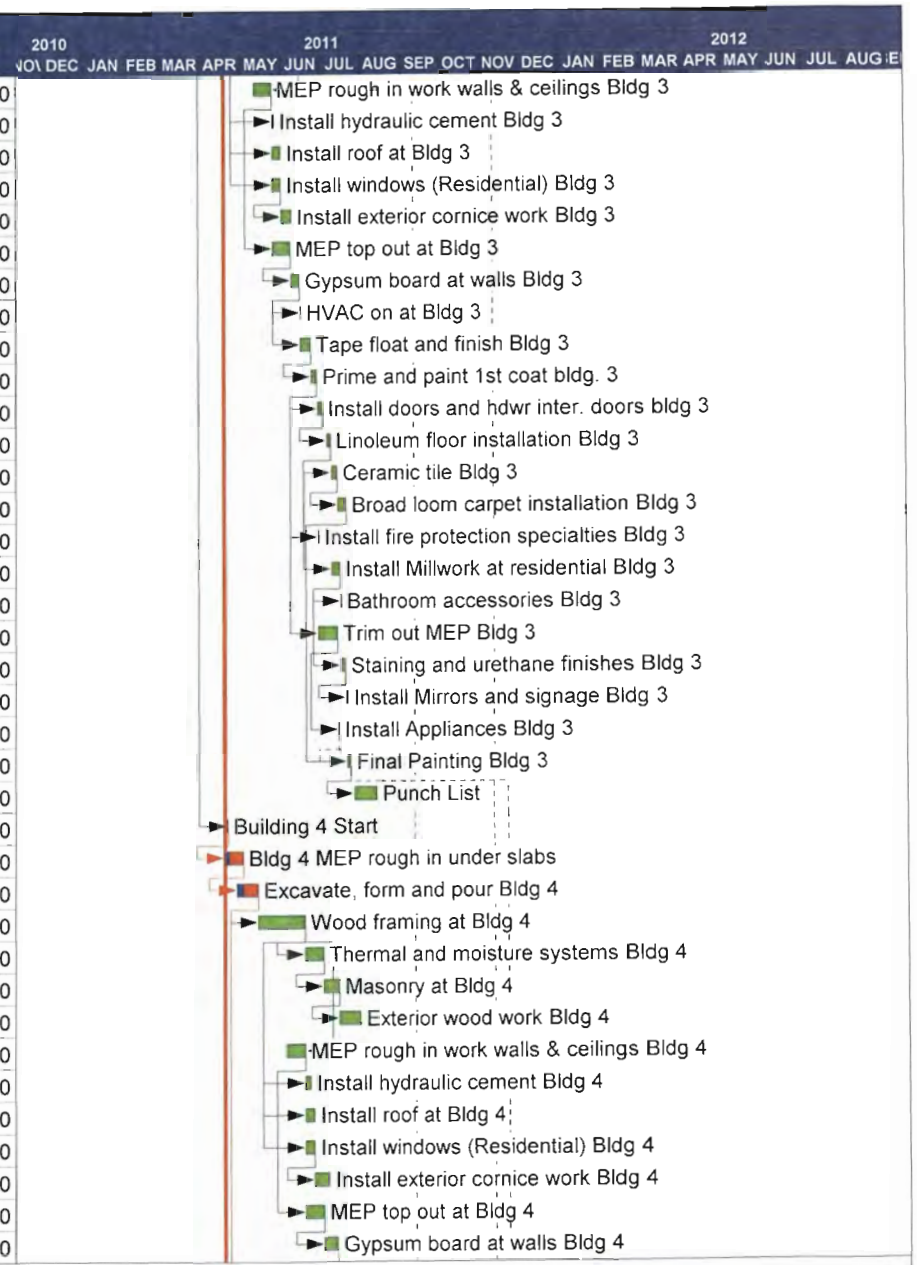
Start date	18NOV10
Finish date	23DEC11
Data date	18APR11
Run date	19APR11
Page number	3A

© Primavera Systems, Inc.

D. Honore' Construction
Mid City Gardens

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	%
B3 4030	MEP rough in work walls & ceilings Bldg 3	10d	10d	11MAY11	24MAY11	0
B3 4035	Install hydraulic cement Bldg 3	2d	2d	25MAY11	26MAY11	0
B3 4040	Install roof at Bldg 3	5d	5d	25MAY11	31MAY11	0
B3 4045	Install windows (Residential) Bldg 3	5d	5d	25MAY11	31MAY11	0
B3 4050	Install exterior cornice work Bldg 3	6d	6d	01JUN11	08JUN11	0
B3 4055	MEP top out at Bldg 3	10d	10d	25MAY11	07JUN11	0
B3 4060	Gypsum board at walls Bldg 3	5d	5d	08JUN11	14JUN11	0
B3 4065	HVAC on at Bldg 3	1d	1d	15JUN11	15JUN11	0
B3 4070	Tape float and finish Bldg 3	6d	6d	15JUN11	22JUN11	0
B3 4080	Prime and paint 1st coat bldg. 3	3d	3d	23JUN11	27JUN11	0
B3 4085	Install doors and hdwr inter. doors bldg 3	4d	4d	28JUN11	01JUL11	0
B3 4090	Linoleum floor installation Bldg 3	3d	3d	05JUL11	07JUL11	0
B3 4095	Ceramic tile Bldg 3	3d	3d	08JUL11	12JUL11	0
B3 4100	Broad loom carpet installation Bldg 3	5d	5d	13JUL11	19JUL11	0
B3 4110	Install fire protection specialties Bldg 3	1d	1d	28JUN11	28JUN11	0
B3 4115	Install Millwork at residential Bldg 3	5d	5d	08JUL11	14JUL11	0
B3 4120	Bathroom accessories Bldg 3	1d	1d	15JUL11	15JUL11	0
B3 4125	Trim out MEP Bldg 3	10d	10d	28JUN11	12JUL11	0
B3 4130	Staining and urethane finishes Bldg 3	2d	2d	15JUL11	18JUL11	0
B3 4135	Install Mirrors and signage Bldg 3	2d	2d	19JUL11	20JUL11	0
B3 4145	Install Appliances Bldg 3	1d	1d	13JUL11	13JUL11	0
B3 4155	Final Painting Bldg 3	3d	3d	20JUL11	22JUL11	0
B3 4200	Punch List	14d	14d	25JUL11	11AUG11	0
B4	Building 4 Start	1d	1d	20APR11	20APR11	0
B4 4000	Bldg 4 MEP rough in under slabs	8d	7d2h	18APR11 A	02MAY11	10
B4 4005	Excavate, form and pour Bldg 4	12d	9d5h	27APR11 A	13MAY11	20
B4 4010	Wood framing at Bldg 4	25d	25d	13MAY11	17JUN11	0
B4 4015	Thermal and moisture systems Bldg 4	10d	10d	17JUN11	01JUL11	0
B4 4020	Masonry at Bldg 4	7d	7d	01JUL11	13JUL11	0
B4 4025	Exterior wood work Bldg 4	12d	12d	13JUL11	29JUL11	0
B4 4030	MEP rough in work walls & ceilings Bldg 4	10d	10d	03JUN11	17JUN11	0
B4 4035	Install hydraulic cement Bldg 4	2d	2d	17JUN11	21JUN11	0
B4 4040	Install roof at Bldg 4	5d	5d	17JUN11	24JUN11	0
B4 4045	Install windows (Residential) Bldg 4	5d	5d	17JUN11	24JUN11	0
B4 4050	Install exterior cornice work Bldg 4	6d	6d	24JUN11	05JUL11	0
B4 4055	MEP top out at Bldg 4	10d	10d	17JUN11	01JUL11	0
B4 4060	Gypsum board at walls Bldg 4	5d	5d	01JUL11	11JUL11	0



Start date	18NOV10
Finish date	23DEC11
Data date	18APR11
Run date	19APR11
Page number	4A

© Primavera Systems, Inc.

D. Honore' Construction
Mid City Gardens

Early bar
Progress bar
Critical bar
Summary bar
Start milestone point
Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	%
B4 4065	HVAC on at Bldg 4	1d	1d	11JUL11	12JUL11	0
B4 4070	Tape float and finish Bldg 4	6d	6d	12JUL11	20JUL11	0
B4 4080	Prime and paint 1st coat bldg. 4	3d	3d	20JUL11	25JUL11	0
B4 4085	Install doors and hdwr inter. doors bldg 4	4d	4d	25JUL11	29JUL11	0
B4 4090	Linoleum floor installation Bldg 4	3d	3d	29JUL11	03AUG11	0
B4 4095	Ceramic tile Bldg 4	3d	3d	03AUG11	08AUG11	0
B4 4100	Broad loom carpet installation Bldg 4	5d	5d	08AUG11	15AUG11	0
B4 4110	Install fire protection specialties Bldg 4	1d	1d	25JUL11	26JUL11	0
B4 4115	Install Millwork at residential Bldg 4	5d	5d	03AUG11	10AUG11	0
B4 4120	Bathroom accessories Bldg 4	1d	1d	10AUG11	11AUG11	0
B4 4125	Trim out MEP Bldg 4	10d	10d	25JUL11	08AUG11	0
B4 4130	Staining and urethane finishes Bldg 4	2d	2d	08AUG11	10AUG11	0
B4 4135	Install Mirrors and signage Bldg 4	2d	2d	10AUG11	12AUG11	0
B4 4145	Install Appliances Bldg 4	1d	1d	10AUG11	11AUG11	0
B4 4155	Final Painting Bldg 4	3d	3d	15AUG11	18AUG11	0
B4 4200	Punch List	14d	14d	18AUG11	07SEP11	0
B5	Building 5 Start	1d	1d	13MAY11	16MAY11	0
B5 4000	Bldg 5 MEP rough in under slabs	8d	8d	16MAY11	26MAY11	0
B5 4005	Excavate, form and pour Bldg 5	12d	9d	26MAY11 A	08JUN11	25
B5 4010	Wood framing at Bldg 5	25d	25d	08JUN11	14JUL11	0
B5 4015	Thermal and moisture systems Bldg 5	10d	10d	14JUL11	28JUL11	0
B5 4020	Masonry at Bldg 5	7d	7d	28JUL11	08AUG11	0
B5 4025	Exterior wood work Bldg 5	12d	12d	08AUG11	24AUG11	0
B5 4030	MEP rough in work walls & ceilings Bldg 5	10d	10d	29JUN11	14JUL11	0
B5 4035	Install hydraulic cement Bldg 5	2d	2d	14JUL11	18JUL11	0
B5 4040	Install roof at Bldg 5	5d	5d	14JUL11	21JUL11	0
B5 4045	Install windows (Residential) Bldg 5	5d	5d	14JUL11	21JUL11	0
B5 4050	Install exterior cornice work Bldg 5	6d	6d	21JUL11	29JUL11	0
B5 4055	MEP top out at Bldg 5	10d	10d	14JUL11	28JUL11	0
B5 4060	Gypsum board at walls Bldg 5	5d	5d	28JUL11	04AUG11	0
B5 4065	HVAC on at Bldg 5	1d	1d	04AUG11	05AUG11	0
B5 4070	Tape float and finish Bldg 5	6d	6d	05AUG11	15AUG11	0
B5 4080	Prime and paint 1st coat bldg. 5	3d	3d	15AUG11	18AUG11	0
B5 4085	Install doors and hdwr inter. doors bldg 5	4d	4d	18AUG11	24AUG11	0
B5 4090	Linoleum floor installation Bldg 5	3d	3d	24AUG11	29AUG11	0
B5 4095	Ceramic tile Bldg 5	3d	3d	29AUG11	01SEP11	0
B5 4100	Broad loom carpet installation Bldg 5	5d	5d	01SEP11	08SEP11	0

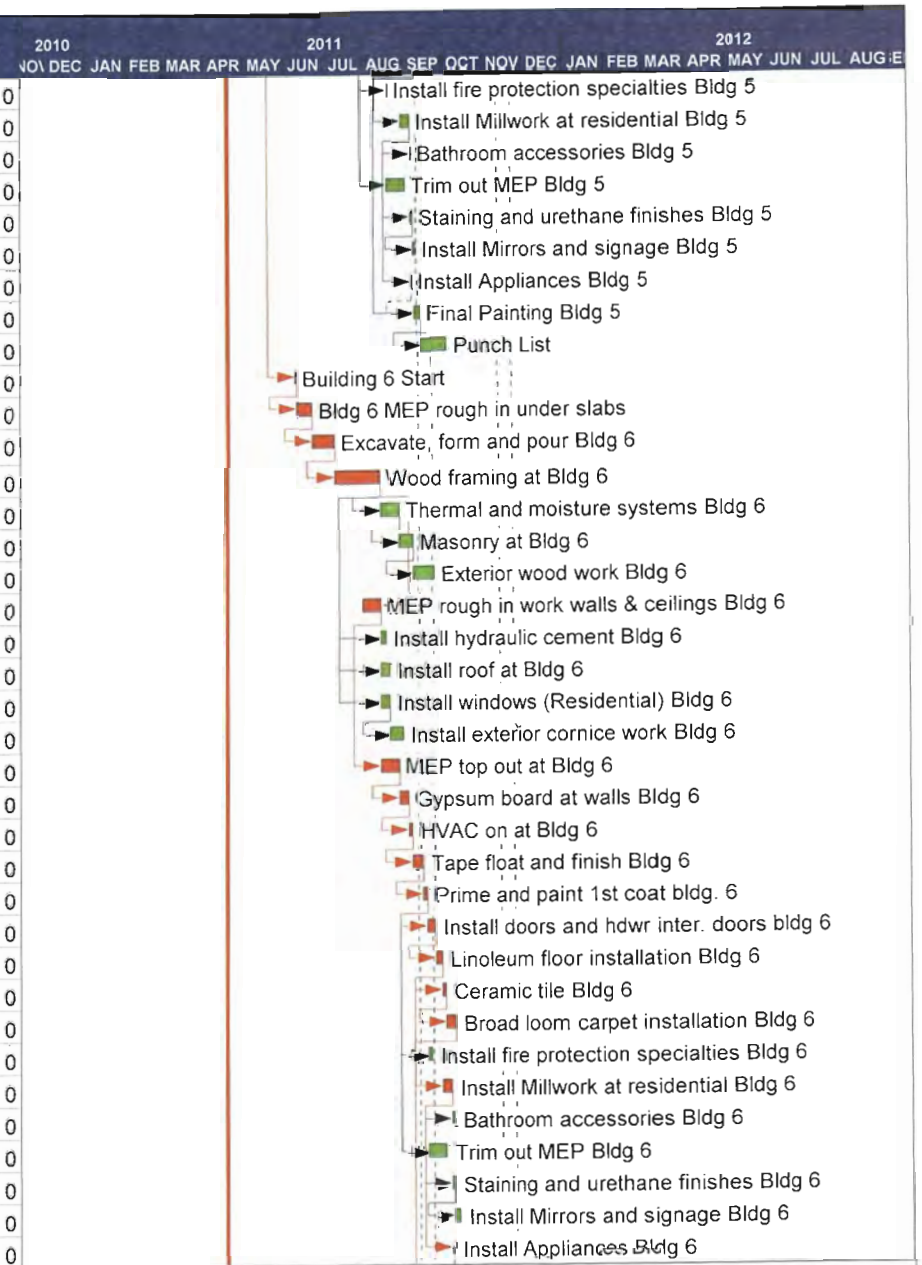
Start date	18NOV10
Finish date	23DEC11
Data date	18APR11
Run date	19APR11
Page number	5A

© Primavera Systems, Inc.

D. Honore' Construction
Mid City Gardens

Early bar
Progress bar
Critical bar
Summary bar
Start milestone point
Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	%
B5 4110	Install fire protection specialties Bldg 5	1d	1d	18AUG11	19AUG11	0
B5 4115	Install Millwork at residential Bldg 5	5d	5d	29AUG11	05SEP11	0
B5 4120	Bathroom accessories Bldg 5	1d	1d	05SEP11	06SEP11	0
B5 4125	Trim out MEP Bldg 5	10d	10d	18AUG11	01SEP11	0
B5 4130	Staining and urethane finishes Bldg 5	2d	2d	05SEP11	07SEP11	0
B5 4135	Install Mirrors and signage Bldg 5	2d	2d	07SEP11	09SEP11	0
B5 4145	Install Appliances Bldg 5	1d	1d	05SEP11	06SEP11	0
B5 4155	Final Painting Bldg 5	3d	3d	08SEP11	13SEP11	0
B5 4200	Punch List	14d	14d	13SEP11	03OCT11	0
B6	Building 6 Start	1d	1d	08JUN11	09JUN11	0
B6 4000	Bldg 6 MEP rough in under slabs	8d	8d	09JUN11	21JUN11	0
B6 4005	Excavate, form and pour Bldg 6	12d	12d	21JUN11	08JUL11	0
B6 4010	Wood framing at Bldg 6	25d	25d	08JUL11	12AUG11	0
B6 4015	Thermal and moisture systems Bldg 6	10d	10d	12AUG11	26AUG11	0
B6 4020	Masonry at Bldg 6	7d	7d	26AUG11	06SEP11	0
B6 4025	Exterior wood work Bldg 6	12d	12d	06SEP11	22SEP11	0
B6 4030	MEP rough in work walls & ceilings Bldg 6	10d	10d	29JUL11	12AUG11	0
B6 4035	Install hydraulic cement Bldg 6	2d	2d	12AUG11	16AUG11	0
B6 4040	Install roof at Bldg 6	5d	5d	12AUG11	19AUG11	0
B6 4045	Install windows (Residential) Bldg 6	5d	5d	12AUG11	19AUG11	0
B6 4050	Install exterior cornice work Bldg 6	6d	6d	19AUG11	29AUG11	0
B6 4055	MEP top out at Bldg 6	10d	10d	12AUG11	26AUG11	0
B6 4060	Gypsum board at walls Bldg 6	5d	5d	26AUG11	02SEP11	0
B6 4065	HVAC on at Bldg 6	1d	1d	02SEP11	05SEP11	0
B6 4070	Tape float and finish Bldg 6	6d	6d	05SEP11	13SEP11	0
B6 4080	Prime and paint 1st coat bldg. 6	3d	3d	13SEP11	16SEP11	0
B6 4085	Install doors and hdwr inter. doors bldg 6	4d	4d	16SEP11	22SEP11	0
B6 4090	Linoleum floor installation Bldg 6	3d	3d	22SEP11	27SEP11	0
B6 4095	Ceramic tile Bldg 6	3d	3d	27SEP11	30SEP11	0
B6 4100	Broad loom carpet installation Bldg 6	5d	5d	30SEP11	07OCT11	0
B6 4110	Install fire protection specialties Bldg 6	1d	1d	16SEP11	19SEP11	0
B6 4115	Install Millwork at residential Bldg 6	5d	5d	27SEP11	04OCT11	0
B6 4120	Bathroom accessories Bldg 6	2d	2d	04OCT11	06OCT11	0
B6 4125	Trim out MEP Bldg 6	10d	10d	16SEP11	30SEP11	0
B6 4130	Staining and urethane finishes Bldg 6	2d	2d	04OCT11	06OCT11	0
B6 4135	Install Mirrors and signage Bldg 6	2d	2d	06OCT11	10OCT11	0
B6 4145	Install Appliances Bldg 6	1d	1d	04OCT11	05OCT11	0



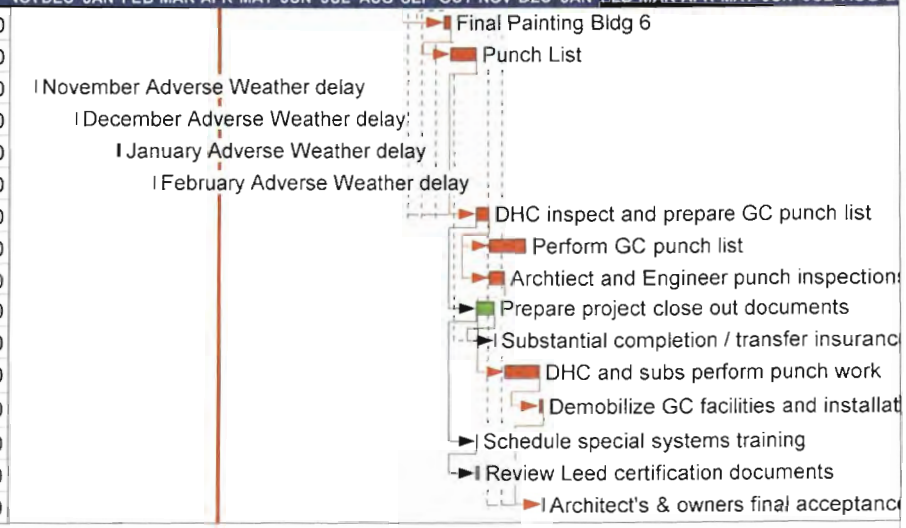
Start date	18NOV10
Finish date	23DEC11
Data date	18APR11
Run date	19APR11
Page number	6A

© Primavera Systems, Inc

D. Honore' Construction
Mid City Gardens

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

Act ID	Description	Orig Dur	Rem Dur	Early Start	Early Finish	%
B6 4155	Final Painting Bldg 6	3d	3d	07OCT11	12OCT11	0
B6 4200	Punch List	14d	14d	12OCT11	01NOV11	0
C 10000009	November Adverse Weather delay	0	0	30NOV10 A	30NOV10 A	100
C 10000019	December Adverse Weather delay	0	0	31MAR11 A	31DEC10 A	100
C 10000029	January Adverse Weather delay	2d	0	31JAN11 A	02FEB11 A	100
C 10000039	February Adverse Weather delay	0	0	28FEB11 A	28FEB11 A	100
C 9930	DHC inspect and prepare GC punch list	8d	8d	01NOV11	11NOV11	0
C 9940	Perform GC punch list	20d	20d	11NOV11	09DEC11	0
C 9950	Archtiect and Engineer punch inspections	8d	8d	11NOV11	23NOV11	0
C 9960	Prepare project close out documents	10d	10d	01NOV11	15NOV11	0
C 9970	Substantial completion / transfer insurances	1d	1d	15NOV11	16NOV11	0
C 9980	DHC and subs perform punch work	18d	18d	23NOV11	19DEC11	0
C 9990	Demobilize GC facilities and installations	3d	3d	19DEC11	22DEC11	0
C 9995	Schedule special systems training	1d	1d	01NOV11	02NOV11	0
C 9999	Review Leed certification documents	3d	3d	01NOV11	04NOV11	0
C 9999999	Architect's & owners final acceptance	1d	1d	22DEC11	23DEC11	0



Start date	18NOV10
Finish date	23DEC11
Data date	18APR11
Run date	19APR11
Page number	7A

© Primavera Systems, Inc.

D. Honore' Construction
Mid City Gardens

- Early bar
- Progress bar
- Critical bar
- Summary bar
- Start milestone point
- Finish milestone point

Rents and Income

Enter data in green cells only

Unit Characteristics

	Number of Units	Square Footage per Unit	Gross Rent, per unit, per month	Monthly Utility Allowance	Net Rent After Utilities, per unit, per month	Monthly Rent After Utilities	Annual Rent After Utilities
0 BR High HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
0 BR Low HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
0 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
0 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
1 BR High HOME Units	-	-	$ -	$ 90	$ (90)	$ -	$ -
1 BR Low HOME Units	14		$ 568	$ 90	$ 478	$ 6,692	$ 80,304
1 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
1 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
2 BR High HOME Units				$ 100	$ (100)	$ -	$ -
2 BR Low HOME Units	26		$ 682	$ 100	$ 582	$15,132	$181,584
2 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
2 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
3 BR High HOME Units	-	-	$ -	$ 123	$ (123)	$ -	$ -
3 BR Low HOME Units	20		$ 788	$ 123	$ 665	$13,300	$159,600
3 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
3 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
4 BR High HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
4 BR Low HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
4 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
4 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
5 BR High HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
5 BR Low HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
5 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
5 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
Total	**60**	**0**	**NA**		**NA**	**$ 35,124**	**$ 421,488**

Rent Projections

	HOME Units	Market Rate Units	"Other" Affordable Units
Rent Increase per Year	3%	0%	0%
Vacancy Year 1 (Lease-Up)	15%	15%	15%
Stabilized Vacancy Rate (after Year 1)	7%	7%	7%

Other Revenue

Other Monthly Revenue*	$0
Annual Increase in Other Revenue	0%

Operating Expenses

Enter data in

Expense	Annual Cost	Monthly Cost
Management Expenses		
Management Fee	$ 21,496	$ 1,791
Management Administrative Payroll Costs	$150,000	$ 12,500
Legal Fees	$ 721	$ 60
Accounting / Audit Fees	$ 2,000	$ 167
Advertising / Marketing	$ 5,000	$ 417
Telephone	$ 5,000	$ 417
Office Supplies	$ 5,000	$ 417
Employee Benefits	$ 18,000	$ 1,500
Other Management Expenses	$ -	$ -
Operations and Maintenance Expenses		
Security	$ 60,000	$ 5,000
Operations and Maintenance Administrative Payroll Costs	$ -	$ -
Elevator (if any)	$ -	$ -
Other Mechanical Equipment	$ 5,000	$ 417
Interior Painting	$ 7,500	$ 625
Routine Repairs and Supplies	$ 7,500	$ 625
Exterminating	$ 1,500	$ 125
Lawn and Landscaping	$ 10,000	$ 833
Garbage Removal	$ 1,800	$ 150
Snow Removal	$ -	$ -
Resident Service Cost		$ -
Other Maintenance Costs	$ 10,000	$ 833
Operations and Maintenance Expenses	$ -	$ -
Utilities Paid by the Property		
Electricity	$ 12,000	$ 1,000
Natural Gas, Oil, Other Fuel	$ 2,000	$ 167
Sewer and Water	$ 5,000	$ 417
Other Utilities Paid by the Property	$ -	$ -
Taxes / Insurance / Reserves / Other Expenses		
Real Estate Taxes	$ -	$ -
Other Taxes and Licenses	$ -	$ -
Property Insurance	$ 25,000	$ 2,083
Reserve for Replacement		$ -
Operating Reserve		$ -
90-Day Start-Up Advance		$ -
Other Operating Expense 2	$ -	$ -
Other Operating Expense 3	$ -	$ -
Other Operating Expense 4	$ -	$ -
Other Operating Expense 5	$ -	$ -

Other Operating Expense 6	$ -	$ -

TOTAL	$354,517	$ 29,543

Operating Expense Increase per Year	4.0%

Rent Increase per Year*

	HOME Units	Market Rate Units
Rent Increase per Year	0%	0%

* NOTE: Rent increase information is entered on the Rents and Income tab. The information users to compare increases in rent to increases in operating expenses.

Tests of the Adequacy of Reserve for Replacement**

Average Capital Needs for Operations per Year	$ 250
Reserve for Replacement per Year	$ -

Average Capital Needs Test: need data

$720 per Unit, per Year Test: need data

** NOTE: This information is presented for informational purposes only. If the reserve for r cover average annual capital needs or meet the $720 per unit per year benchmark, increase reserve for replacement.

Additional Reserve for Replacement Funds (Years 1-5)***

Year 1	$ 250
Year 2	$ 250
Year 3	$ 250
Year 4	$ 250
Year 5	$ 250

*** Some properties may draw larger-than-average amounts from their reserve for replacem of operations. If this will be the case for this project, enter the additional amounts you expe reserve for replacement for Years 1-5.

Upon completing this tab, proceed to the *Financing Sources* tab.

H/S

HOLLY & SMITH ARCHITECTS
A Professional Architectural Corporation
P. O. BOX 1707
HAMMOND, LOUISIANA 70401
985/345-5210

PROJECT: Replacement of Gaslight Apts.
Village de Jardin

H/S PROJECT NO. 07020
STATE PROJECT No. 01-107-05B-13, Part AQ

COMPLIANCE REVIEW

DATE: April 19, 2011

SITE: Dry

TIME: 9:00 a.m.

WEATHER: Clear/Warm

PARTIES PRESENT	ORGANIZATION
Ryan Faulk	H/S
Michael Holly	H/S
Ed Carpenter	Johns Mansfield
Katie Demenco	Johns Mansfield
Clement Saucier	Saucier Roofing
Greg Smith	Walton Core
Tony Yount	Walton Core
Tanner Broughton	Walton Core
Lanny Schoning	Walton Core
Mark Cook	State of Louisiana Roofing Division

Parties receiving copies: Regis Bergeron – FP&C, Jason Crumb – Crumb Engineering, Ashley Austin – Morphy Makofsky Inc., Alejandro Flores – Krebs LaSalle LeMieux, Greg Smith – Walton Construction, Roy T. Dufreche & Associates, Roger Tijerino – LHFA

//

Anyone taking exception to these notes should notify the Architect, in writing, within seven (7) days of the date of receipt of this document; otherwise, the minutes shall stand approved as written.

OBSERVATIONS

68.1 The roofing installation conference took place at 9:00 am where by the following items were discussed:

1. Roofing subcontractor requested the use of the torch down membrane in lieu of hot asphalt applied membrane as specified due to the small roof areas involved in this project. It was noted by Mr. Saucier that due to the small roofing areas the temperature of the asphalt will be difficult to maintain and therefore irregularity in the installation will occur. Upon discussion with Mr. Cook, torch-down application is not appropriate and will not be accepted. However, a cold-applied installation is acceptable to both the architect and owner in this case. Mr. Carpenter noted that the cold-applied SBS mod bit will meet the requirements of the wind uplift. Contractor was directed to proceed in this manner.
2. A twenty year weather tightness warranty is part of the project with the required amendments to the warranty as required by the State of Louisiana. It was noted by Mr. Holly that all parties must be aware that the issuance of Substantial Completion is depending on receipt of the roof executed weather tightness warranty. The delay of the issuance of this warranty will delay issuance of Substantial Completion until the warranty is received. Mr. Carpenter stated that he is aware of the provision and will coordinate with all parties to have documentation executed timely. Mr. Broughton reiterated that commitment.
3. Mr. Saucier stated the actual installation of the roof would take approximately 15 days from start and the total care time for the system would take approximately 30 days. However, the system could be walked on shortly after application.
4. It was noted by Mr. Carpenter that the Johns Manville representative is Craig Hebert who will provide an inspection in the installation of the roof systems and will issue a report after that inspection. Michael Holly stated that report must be issued to the architect upon issuance to the contractor, as well as attached to the warranty at Substantial Completion.

5. A concern was brought up by the roofing contractor who noted that distance between the roof hatch and adjacent parapet wall is insufficient to properly install Dynaclad flashing. Both Mr. Saucier and Mr. Carpenter stated that a product from Johns Manville (Perma Flash) will be used and cants deleted in the area affected so that proper flashing of the wall and roof can be executed. The architect and owner's representative, Mr. Cook stated that this acceptable.
6. All parties reviewed an area of roof at the north side of Building 17 (above chute room) where Mr. Faulk reiterated directive concern from previous compliance review where through flashings must be installed at a minimum of 8 inches from the roof membrane to the edge of the counter flashing as noted in the contract documents. Mr. Schoning stated that this will be installed as previously discussed.

68.2 It was noted by Ryan Faulk that the intersection of the Tyvek membrane with the by proofing install on the shear wall be properly flashed with a membrane approved by Tyvek. Mr. Schoning stated that the work must be performed prior to installation of brick to tie these membranes together.

68.3 H/S observed the installation of coup steel support frame was in process at the east side of Building 17. It was further noted that the clips installed at the perimeter balcony for attachment of the frame has not been galvanized or finished after welding at this time.

68.4 Sprayed foam installation at the roof deck was in process within Volume 3 Building C.

68.5 H/S took receipt of revised schedule showing project completion date of September 1, 2011.

END OF MINUTES

Volume 4 – space between roof hatch and wall is too tight for specified SBS Mod Bit flashing. Fluid applied flashing membrane will be applied

Volume 4 – Through-wall flashing height must be raised to meet or exceed contract document requirements

Volume 4 – building 17, screen support structure installation at balconies

Volume 3 – spray foam installation in progress at roof deck

Volume 4 – flashing condition between framed wall and shear wall must be addressed prior to installation of brick.

H/S

HOLLY & SMITH ARCHITECTS
A Professional Architectural Corporation
P. O. BOX 1707
HAMMOND, LOUISIANA 70401
985/345-5210

PROJECT: Replacement of Gaslight Apts.
Village de Jardin

H/S PROJECT NO. 07020
STATE PROJECT No. 01-107-05B-13, Part AQ

COMPLIANCE REVIEW/
MONTHLY MEETING

DATE: April 26, 2011

TIME: 9:30 a.m.

SITE: Dry

WEATHER: Clear/Warm

PARTIES PRESENT — ORGANIZATION

See Attached Sign-In Sheet

Parties receiving copies: Regis Bergeron – FP&C, Jason Crumb – Crumb Engineering, Ashley Austin – Morphy Makofsky Inc., Alejandro Flores – Krebs LaSalle LeMieux, Greg Smith – Walton Construction, Roy T. Dufreche & Associates, Roger Tijerino – LHFA

//

Anyone taking exception to these notes should notify the Architect, in writing, within seven (7) days of the date of receipt of this document; otherwise, the minutes shall stand approved as written.

OBSERVATIONS

69.1 Tanner Broughton provided a schedule to all parties with a run date of 4/11/11 and stated that an update will be forthcoming, but was not available for this meeting. Completion shown on the schedule is September 1, 2011. Contract time as of Change Order No. 9, issued to the owner, extends to July 7, 2011.

69.2 The general contractor provided the following update for work in progress and schedule for Building 16 as follows:

1. Installation of spray foam is scheduled for this Thursday.
2. The gypsum board is currently being taped and floated on the 5th floor.
3. Installation of brick is in progress at the corridors at the north and south ends of the building.
4. Cabinet delivery for the 2nd through the 5th floor is scheduled for May 3, 2011.
5. Gypsum board tape and float is in progress on the 1st floor.
6. Brick installation has topped out at the south sheer wall and is awaiting installation of stairs before completion of this work.

69.3 The general contractor reviewed the current status of the work and schedule for Building 17 as follows:

1. Countertops have been installed throughout the project.
2. Bamboo wood flooring is currently stacked and is acclimating to the interior conditions in all units.
3. Tile installation at the toilet rooms is proceeding on the 1st floor (public toilets).
4. Excavations are scheduled to proceed this week for the concrete sitework between Building 16 and 17.

69.4 The general contractor reviewed the current schedule and progress of the work for Volume 1 as follows:

1. Cabinet installation is complete for premanufactured casework.

2. Tile is installed at the bathrooms.

3. HVAC condensers are currently being installed on wood platforms.

4. Soffit and fascia exterior painting is in progress.

5. Bamboo wood flooring is scheduled to progress this week.

6. Plastic laminate countertops are on site for installation.

69.5 The general contractor reviewed the current schedule and progress of the work for Volume 2 as follows:

1. Tape and float of gypsum board is in progress.

2. The premanufactured casework has been delivered for Buildings 2, 3, 4 and 8.

3. Doors installed and trim is in progress for doors within Buildings 2, 3, 4 and 8.

4. The concrete pour for the main drive (Village Street) is scheduled for this Thursday at 6:00 a.m.

69.6 The general contractor reviewed the current schedule and progress of the work for Volume 3 as follows:

1. Gypsum board is currently being installed within Building 14, 13 and 10.

2. Gypsum board is stocked within Building 9.

3. Mechanical trimout is in progress for Buildings 9 and 14.

4. Plumbing trimout is in progress for Buildings 9, 10 and 13.

5. Brick installation at riser in electrical rooms is in progress.

69.7 The general contractor stated that resubmittal has been sent to the architect and engineer for Volume 3 sprinkler. Jason Crumb advised that all comments made by the Fire Marshal must be addressed. Tony Yount stated that the submittal is intended to be issued to the Fire Marshal to address his comments. Mr. Crumb stated he has not received the submittal yet, but will review once received.

69.8 The general contractor advised that all the sleeves for landscape items, including drainage and irrigation have been installed.

69.9 Remediation is remaining for Building 5 and for Unit 1B.

69.10 The general contractor requested direction regarding required smoke seals at Volume 4 unit entry doors. A bamboo reducer is required by the contract documents and the hardware specifications do not include provisions for smoke seal or sweep at the bottom of the door. H/S will review and advise.

It does appear that the remainder of the doors within the units have very tight tolerances between the bottom of the door and the top of the threshold and the required undercuts of the doors does not appear to be present.

69.11 Ryan Faulk stated that upon discussion with Mr. Shoning that the elevator relief duct located within the attic must be raised at the catwalk area to allow proper access beneath the duct. Currently, it is too low to be acceptable and ample room is available the duct to raise this item.

69.12 A list of submittals was received by H/S which the general contractor stated appear to have been responded to;

however, they have no record of the response. Ryan Faulk stated he will pull the actions for each submittal and resend to the general contractor.

69.13 Upon review it was noted by Mr. Tijerino that the fans appear too high within the high ceiling spaces within the living units in Volume 1. Ryan Faulk agreed. It was noted by the general contractor that several stem lengths were provided within the fan kits; however, the longest stem was not installed. Ryan Faulk directed the general contractor to remove the fan and install the longest available stem provided in the kits so the proper circulation can be provided by the fan unit as well as proper access to the light kit for changing of the bulb in the affected living spaces. This also applies to Volumes 2 and 3.

69.14 Several deficiencies were noted which must be corrected as follows:

1. Bullnose units at the top edge of wainscot are not properly aligned along the length in several areas.

2. Bullnose units must be utilized at all outside corners.

3. Inside corners shall be mitered at cove base. Additionally, outside corners at cove base must utilize premanufactured outside corner units as specified.

69.15 All parties reviewed the installation of bamboo wood flooring within living units and discussed the transition between this floor material and the ceramic tile within the kitchen. It was agreed by all parties present that a T-type transition strip of bamboo shall be used between the bamboo and the ceramic tile; however, installation must be such that no gap exists on each side of this transition between the underside of the transition and the floor material, typical.

69.16 H/S reviewed the threshold condition at the entry doors. Upon review of the drawings and of the installed material at the site, H/S noted that a bamboo reducer is specified in the contract documents at this location. Furthermore, it was noted by Ryan Faulk that the bamboo wood floor within the living units shall extend to the inside corner of the rabbet of the door frame. The bamboo reducer shall be exposed within the corridor starting at the face of the door.

69.17 H/S reviewed a mock-up of the prefinished metal fascia and gutter at the eaves on Building 17. Upon review, H/S found the installation to be acceptable with the exception of the gap which is present between the prefinished reveal and the fascia. This gap is varying over the length of the installation and must be properly addressed by the general contractor as acceptable to the architect.

69.18 H/S reviewed the installation of ceramic tile within the bathrooms and living units. It was noted by Ryan Faulk that several joints within the ceramic base are wider than those on the floor tile. This is unacceptable and must be corrected. Furthermore, the use of slivers of tile for base shall be avoided if possible. An extremely wide grout joint is present between the tile base and the wall in several areas. This condition is rejected and must be replaced.

69.19 Tanner Broughton stated that he is currently awaiting pricing from PDI for the replacement of the porch fans for Volumes 1, 2 and 3 as requested by Ryan Faulk. Currently the fans specified for these porches do not have a stem mount and therefore are (1) too high on the high ceiling porches, and (2) not mounted level due to the surface mount nature of the fan unit.

69.20 H/S stated that the fresh air intakes located on the roof of Volume 2 units are too high. The contractor stated they will lower these items. It was further stated by Ryan Faulk that the sewer vent stacks must also be lowered as a result since they are also too high; code requirements must be followed when lowering these items.

END OF REPORT

Ceiling fans in high-ceiling spaces are required to have longer stems for proper circulation and maintenance

Volume 1 – view South on Village Street

Vol. 4, Bldg 17 – installation of screen support framing remains in progress

Vol. 4, bldg 17 - Ceramic tile installation at public toilets

Vol. 4, bldg 17 - Ceramic tile installation at public toilets; bullnose edge required at outside corner

Vol. 4, bldg 17 - Ceramic tile installation at public toilets; factory formed outside corners required at cove base

Vol. 4 – grout joint between base and wall too wide, rejected.

Vol. 4 – bamboo reducer mockup at typical unit entry

Volume 4, bldg 17 – fascia and gutter mockup

Vol. 4 – wall base joint too wide.

ROY T. DUFRECHE AND ASSOCIATES, LLC
LANDSCAPE ARCHITECTS AND PLANNERS

LANDSCAPE ARCHITECTURE
CAMPUS PLANNING
LAND PLANNING
RECREATION PLANNING
URBAN DESIGN

MEETING MINUTES

Village de Jardin Apartments

New Orleans, Louisiana

Tuesday, April 26, 2011 @ 9:30 A.M. @ the Project Site

Parties Present:	Organization:
Mr. Adam Perkins	Roy T. Dufreche and Associates
Mr. Darren Callihan	Rotolo Consultants, Inc.
Mr. Ryan Faulk	Holly and Smith Architects
Mr. Roger Tijerino	LHFA
Mr. Regis Bergeron	FP&C
Mr. G. Smith	WCCC
Mr. Clyde Tyce	MMI
Mr. Lanny Schoning	WCC
Mr. Scheper Edward	WCC
Mr. Tony Yount	WCC
Mr. Tanner Broughton	WCC
Russel Stallings	WCC

Parties receiving copies: (File)

General Notes:

1.1 The purpose of the meeting was to report and coordinate construction progress. A site inspection was also performed, observing work accomplished to-date.

Action:

1.2 The weather was noted to be overcast, the site conditions were dry.

1.3 A construction schedule was distributed to the meeting participants, outlining the projected construction progress.

1.4 The meeting commenced with a lengthy discussion of building construction topics with no impact on the landscape and irrigation.

1.5 Mr. Callihan informed Mr. Perkins that on-site supervision of RCI work has previously been provided by "Trevor", but RCI's work will henceforth be supervised by him (Mr. Callihan).

1.6 Mr. Perkins inquired about the construction progress of the roadways and retaining walls at planter areas, and the installation of both irrigation sleeving and drainpipe outflow pipes. Mr. Callihan stated that his current RCI Foreman assures him all sleeving in these areas has been previously installed.

40406 EDGAR TRAYLOR ROAD
HAMMOND, LA 70403
(225) 294-5257 TEL

(225) 294-5258 FAX
WWW.ROYDUFRECHE.COM
AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

Other meeting participants stated that the drainage outflow pipes have been previously installed (but not the "NDS" catch-basins or french drains indicated within the "L" sheets of the plans).

1.7 Mr. Callahan and Mr. Perkins conducted an independent post-meeting walk of the site, which revealed that most planter areas have not been brought to their final pre-landscape grades. Mr. Callihan opined that it will likely be several weeks before the adjacent paving and sidewalks are completed to a level allowing the commencement of the Irrigation System installation.

1.8 Inspection of the raised planter areas did not reveal irrigation sleeves in the areas indicated on the plans. Mr. Callihan repeated that he had been told that all needed sleeves have been installed in these areas. Mr. Callihan agreed to investigate this issue, and suggested that the sleeves have indeed been installed, but buried since.

1.9 Mr. Perkins was informed that the drainage outflow pipe has been installed for the "Community Garden" area. The gravel surface and perforated-pipe drainage intake manifold have not been installed, the area is currently being used for construction material stockpiling.

2.0 Mr. Callihan noted that his irrigation instillation may begin within the southern portion of the site. He subsequently noted that the main water hookup and controller location are in the NE corner of the property. He noted that his installation phasing may change to adapt to this condition. These adaptations were noted as having no impact on his installation timeline.

2.1 With no further items pending, the meeting between Mr. Perkins and Mr. Callahan concluded at 11:20 A.M.

END OF MINUTES

H/S

HOLLY & SMITH ARCHITECTS
A Professional Architectural Corporation
P. O. BOX 1707
HAMMOND, LOUISIANA 70401
985/345-5210

PROJECT: Replacement of Gaslight Apts.
Village de Jardin

H/S PROJECT NO. 07020
STATE PROJECT No. 01-107-05B-13, Part AQ

COMPLIANCE REVIEW/
MONTHLY MEETING

DATE: May 3, 2011

TIME: 10:00 a.m.

SITE: Dry

WEATHER: Cloudy/Warm

PARTIES PRESENT	ORGANIZATION
Ryan Faulk	H/S
Russell Stallings	H/S
Tanner Broughton	Walton CORE
Tony Yount	Walton CORE
Ed Scheper	Walton CORE
Lanny Schoning	Walton CORE

Parties receiving copies: Regis Bergeron – FP&C, Jason Crumb – Crumb Engineering, Ashley Austin – Morphy Makofsky Inc., Alejandro Flores – Krebs LaSalle LeMieux, Greg Smith – Walton Construction, Roy T. Dufreche & Associates, Roger Tijerino – LHFA

//

Anyone taking exception to these notes should notify the Architect, in writing, within seven (7) days of the date of receipt of this document; otherwise, the minutes shall stand approved as written.

OBSERVATIONS

70.1 The general contractor requested direction regarding type of gravel to use beneath condensing unit stands and provided a sample of both crushed limestone and washed gravel (approximately 1" diameter). Upon review, H/S directed the general contractor to proceed with washed gravel in these areas.

70.2 A sample of opaque stain on treated wood columns and exposed beam on the exterior porch of Building 1 was available for review and comment. Upon review, H/S found the installation acceptable with the following exceptions:

1. Cut-in of the stain will be required around all knife plate connections at the base as well as the top of columns. Currently there are holidays in the stain installation on the beam near the center column.

2. Knife plate connectors must be properly touched up due to damage to the finish of varying degrees.

3. Plinth blocks at the column bases must be stained to match the wood porch.

70.3 Installation of premanufactured cabinets is in progress within Volume 2.

70.4 Crack isolation membrane installation was in progress within Building 1 bathrooms.

70.5 Forms and installation of reinforcing steel was in progress on Village Street at the south end of the site.

70.6 Upon review of ceramic tile installation within public toilet rooms and within the kitchen (quarry tile), several areas have the cove base installed on top of the ceramic floor tile, which is unacceptable. It was noted by Ryan Faulk that the cove base must be installed so that the bottom of the tile base is integral with the floor. Upon discussion, the ceramic tile installer stated that they intend to remove the affected floor tiles adjacent to all walls, sawcut the tiles accordingly, and install the base as directed.

70.7 Curtain wall installation is in progress at Building 16 elevator lobbies (east elevation).

70.8 Excavations for site cast concrete items are in progress between Buildings 16 and 17.

70.9 H/S observed that a delivery of access panels for water heater access on the first floor of Building 16 was available for review. However, the frame for these items does not match that submitted or accepted and was therefore rejected. The general contractor stated they will return the excess panels to the manufacturer for replacement.

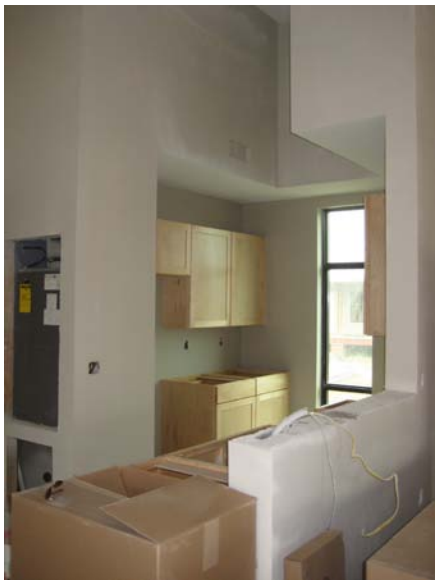
70.10 Ryan Faulk observed that several sections of prefabricated metal stairs were stored on site as noted in a previous compliance review and that several of these sections are not prefinished, only galvanized. General contractor stated that these sections will be returned to the steel fabricator's shop for painting prior to installation. This was discussed during a previous compliance review, but not documented.

70.11 H/S observed several areas within Volume 3 which have been insulated using the fiberglass batt insulation where gaps are present that must be filled. The general contractor stated they will address this prior to installation of gypsum board.

END OF REPORT

Gravel sample at vol. 1 HVAC platforms

Opaque stain installation at vol. 2, bldg 1



Volume 2 kitchen cabinet installation

Volume 2 crack isolation membrane installation in progress

Forms and reinforcing for pavement between volume 1 and volume 2 (Village Street)

Incorrectly installed cove tile base at bldg 17 toilet rooms

Bldg 16 curtainwall installation in progress

Excavation between bldgs 16 & 17 for site concrete

West elevation, building 16

H/S

HOLLY & SMITH ARCHITECTS
A Professional Architectural Corporation
P. O. BOX 1707
HAMMOND, LOUISIANA 70401
985/345-5210

PROJECT: Replacement of Gaslight Apts.
Village de Jardin

H/S PROJECT NO. 07020
STATE PROJECT No. 01-107-05B-13, Part AQ

COMPLIANCE REVIEW/
MONTHLY MEETING

DATE: May 10, 2011

TIME: 10:00 a.m.

SITE: Dry

WEATHER: Clear/Hot

PARTIES PRESENT	ORGANIZATION
Ryan Faulk	H/S
Russell Stallings	H/S
Tanner Broughton	Walton CORE
Tony Yount	Walton CORE
Jeremy Reneau	Walton CORE
Ed Scheper	Walton CORE
Lanny Schoning	Walton CORE

Parties receiving copies: Regis Bergeron – FP&C, Jason Crumb – Crumb Engineering, Ashley Austin – Morphy Makofsky Inc., Alejandro Flores – Krebs LaSalle LeMieux, Greg Smith – Walton Construction, Roy T. Dufreche & Associates, Roger Tijerino – LHFA

//

Anyone taking exception to these notes should notify the Architect, in writing, within seven (7) days of the date of receipt of this document; otherwise, the minutes shall stand approved as written.

OBSERVATIONS

71. 1 All parties discussed the 277/480 volt transformer from Entergy for site lighting near volume 1, whereby the general contractor requested direction if they should procure this transformer from Entergy or utilize a different method of feeding the site lighting in lieu of that shown by the contract documents (transformer). It was discussed in previous compliance reviews that the transformer from Entergy is an additional cost; however, an allowance is in place for this purpose of which a value still remains. The general contractor was directed to proceed with the transformer procurement and installation as indicated in the contract documents for the required voltage.

71. 2 Ryan Faulk requested the status of quotation for replacement of the porch fans on Volumes 1, 2 and 3 for fans with down rod stems matching that used for the porches at Volume 4. Tanner Broughton stated that he is awaiting pricing from PDI for this item.

71. 3 The general contractor requested status of the replacement light fixture for high kitchen ceilings in Volumes 1 and 2. Ryan Faulk responded that a sample fixture will be shipped to the jobsite to Mr. Broughton's attention for use as a demo installation to rectify the low light level in these kitchens.

71. 4 The general contractor requested the status of the fire suppression shop drawings for Volume 3 lease space submitted for review. H/S responded that the mechanical engineer is reviewing this; however, he is considering issuing to the Fire Marshal for review as informal correspondence in lieu of a formal submittal since this has been previously reviewed on a number of occasions. H/S will follow-up with the mechanical engineer on this item.

71. 5 Ryan Faulk must issue a CPR for the return and supply air requirements for the elevator equipment rooms, which was clarified by RFI. It was further noted by Ryan Faulk that the 2-hour rated enclosure around ducts entering the equipment room must still be reviewed with the elevator inspector prior to a CPR being issued for this item. H/S will follow-up in this matter.

71. 6 All parties discussed the connection between the range hood and the ductwork in the ceiling. The general contractor requested if the damper on the hood itself is required. Upon discussion, H/S responded that it is not required since a damper is present at the wall cap located at the exterior wall, to which this duct is attached.

71. 7 ASI was available during this compliance review to discuss the signage submittal and installation. Tanner Broughton stated that he cannot locate the physical copy of the signage shop drawings for site signage which was noted by H/S as previously returned. Ryan Faulk stated that he will pull this item from H/S file, scan and resend to Mr. Broughton. It was further noted by ASI that the poles for pole-mounted signs were submitted as satin aluminum poles. H/S stated that they have no objection to this.

Mr. Broughton and ASI also requested specific locations on the buildings for building-mounted exterior signs, specifically unit designations. Ryan Faulk responded that H/S has previously responded to this as an RFI. During this meeting, Mr. Scheper retrieved the RFI in question for all parties to review.

71. 8 Ryan Faulk observed that the hollow metal doors and frames as well as siding and paint has been installed at the electrical building at the southeast corner of the site. Upon review, H/S noted that the head of the hollow metal door frame is 2" and not 4" and therefore, a significant gap is present at the head of the door. This is unacceptable and must be remedied by the general contractor. Additionally, it was observed that the undercut of the door appears to be insufficient for installation of a threshold. This must also be addressed.

71. 9 Upon review of several units, H/S observed that the toilet installations appear in many units to be unlevel. The general contractor shall review each and address this item.

71. 10 Ryan Faulk observed that on Building 109, a mixture of yellow and white hardi plank siding appears to have been installed. H/S was previously informed by James Hardie that the primer used on the material is yellow, therefore, it appears that the white boards used were either unprimed or from a different manufacturer. The general contractor must confirm and respond.

71. 11 Upon review of the installed tube steel frames for balcony screens at Volume 4, H/S noted that a significant amount of welding has been performed which requires cleaning, post installation galvanizing, as well as painting. Additionally, the balcony coating must be repaired where damaged.

71. 12 H/S noted that the method of attachment at the top of the tube screen system to the building utilizing the preinstalled clip is unacceptable since multiple plates were used, and the installation was performed in an unworkmanshiplike manner.

71. 13 H/S observed that several areas of bamboo floor installed in Volume 4 were either not protected or the protection had been damaged resulting in dirt and construction debris being deposited on the floor. H/S warned that protection of the installed prefinished floor is crucial so that refinishing of these floors is not required at the completion of the project.

71. 14 H/S observed that the quarry tile installation was in progress with cove base installed so that the cove is integral with the floor and not on top. Installation is not complete at this time.

71. 15 Installation of the track for support of the folding wall partition at the library was in progress.

71. 16 Al l parties reviewed the installation of furrdown ceiling framing at the ceiling at the stairs in Volume 3. The general contractor stated that they were directed by the architect to install the furrdown so as to allow the routing of the sprinkler supply pipe. Upon review, Ryan Faulk stated that H/S has no record of any directive to lower the ceiling in this area. Furthermore, Mr. Faulk noted that the sprinkler supply pipe could have been run within the 2 x 6 furrout located on the wall at the rear of the stair. Based on these observations, an additional cost to the owner is unacceptable for this issue.

END OF REPORT

Electrical building, volume 1

Frame head at electrical building door not correct

Toilet installation not level, typical condition observed

Hardi siding does not appear to be primed on white boards

Volume 3, building C

Volume 3, building B

Spalled concrete at balcony edge / damage to finishes not touched-up prior to screen installation (building 17)

Unacceptable connection condition at soffit, building 17

Repairs to galvanizing/finishes required at field welded connections

Protection of floor required to be maintained till completion of project

Quarry tile installation in progress

Lowered ceiling in volume 3 stairwells – not authorized.

H/S

HOLLY & SMITH ARCHITECTS
A Professional Architectural Corporation
P. O. BOX 1707
HAMMOND, LOUISIANA 70401
985/345-5210

PROJECT: Replacement of Gaslight Apts.
Village de Jardin

H/S PROJECT NO. 07020
STATE PROJECT No. 01-107-05B-13, Part AQ

COMPLIANCE REVIEW/
MONTHLY MEETING

DATE: May 17, 2011

TIME: 9:00 a.m.

SITE: Dry

WEATHER: Clear/Hot

PARTIES PRESENT	ORGANIZATION
Ryan Faulk	H/S
Michael Holly	H/S
Russell Stallings	H/S
Toli Savvaides	MMI
Greg Smith	Walton CORE
Tanner Broughton	Walton CORE
Tony Yount	Walton CORE
Jeremy Reneau	Walton CORE
Ed Scheper	Walton CORE
Lanny Schoning	Walton CORE

Parties receiving copies: Regis Bergeron – FP&C, Jason Crumb – Crumb Engineering, Ashley Austin – Morphy Makofsky Inc., Alejandro Flores – Krebs LaSalle LeMieux, Greg Smith – Walton Construction, Roy T. Dufreche & Associates, Roger Tijerino – LHFA

//

Anyone taking exception to these notes should notify the Architect, in writing, within seven (7) days of the date of receipt of this document; otherwise, the minutes shall stand approved as written.

OBSERVATIONS

72.1 The meeting was held to review outstanding structural claims relative to shear wall requirements within Volume 3 buildings. Discussion on this matter will be followed up in separate correspondence.

72.2 H/S reviewed the current progress of Kitchen 135 within Building 17. The General Contractor requested that they be allowed to install the ceiling at a lower elevation due to the presence of sprinkler supply lines which were installed at a lower elevation in several areas. Upon review, H/S stated that they will allow the ceiling to be lowered to an elevation of 10'- 2" A.F.F. throughout the kitchen area.

72.3 In review of the issue regarding ceiling heights within corridors on the upper floors 2 thru 5 of Building 17, he General Contractor stated that a similar issue exists for Building 16 and requested that the ceiling height be allowed at a lower elevation than that noted in the Contract Documents. Upon discussion, H/S will allow the installation of the ceiling in the corridors of Building 16 on Floors 2 thru 5 to be 8'-4" above finished floor.

72.4 Ryan Faulk stated that in several areas where bamboo flooring has been installed, it was observed that protection of the floor is still not completed or has been damaged allowing construction foot traffic directly on the surface of the prefinished wood floor. H/S again reminded the General Contractor that the finish must be protected so that refinishing of the floor by the General Contractor is not required at the end of the project.

72.5 Michael Holly identified that the joint between brick and stucco at Volume 3 Sprinkler/Electrical Rooms is inconsistent, and in some areas too tight to allow for the installation of the required sealant joint. The General Contractor shall correct this to allow for the installation of a sealant joint between the dissimilar materials, typical.

72.6 H/S observed the penetrations through the stucco walls for condenser piping for DX units at Volume 3. These penetrations are currently open, allowing water to infiltrate the building. Tony Yount stated that Walton will repair the stucco in all of these areas and install a sealant joint to seal the penetrations.

72.7 H/S observed that the copper sheet flashing called out within the documents at Volume 3 for installation where concrete paving abuts the building has not been installed. Ryan Faulk noted that the contractor was allowed to change the detail to utilize a prefinished brake metal flashing near the compressor units as utilized on Volume 4, the detail 4/A7.01. However, to date neither flashing has been installed. It was further noted that the lower edge of the sheathing as well as some wood framing is exposed at the bottom of the wall behind the stucco adjacent to planter areas. This issue will be reviewed with the General Contractor.

72.8 The General Contractor requested that in Volume 3, Building Type B in the 2nd Floor Type C Units, the wall between Bathroom 09 and Dining 02 must be furred out to accommodate sewer piping which had to be run on the dining room side of the wall in order to avoid a structural beam which occurs beneath that wall. Ryan Faulk stated that this is acceptable and directed the contractor to proceed with the furr out in this area. The furr out must be the minimum required in order to enclose the piping and must be continuous along the wall in question.

END OF REPORT

Volume 3 – joint between brick/siding/stucco

Volume 3 – joint between brick/stucco inconsistent and too tight in some areas for sealant.

Volume 3 – HVAC condenser line penetrations

Volume 3 – bottom of wall condition at planters

Volume 3 – drainage work in progress at planters

Village street, at volume 3 – sawcutting joints in progress

H/S

HOLLY & SMITH ARCHITECTS
A Professional Architectural Corporation
P. O. BOX 1707
HAMMOND, LOUISIANA 70401
985/345-5210

PROJECT: Replacement of Gaslight Apts.
Village de Jardin

H/S PROJECT NO. 07020
STATE PROJECT No. 01-107-05B-13, Part AQ

COMPLIANCE REVIEW/
MONTHLY MEETING

DATE: May 24, 2011

TIME: 9:30 a.m.

SITE: Dry

WEATHER: Clear/Hot

PARTIES PRESENT	ORGANIZATION
Ryan Faulk	H/S
Russell Stallings	H/S
Tanner Broughton	Walton CORE
Tony Yount	Walton CORE
Lanny Schoning	Walton CORE
Roger Tijerino	LHFA

Parties receiving copies: Regis Bergeron – FP&C, Jason Crumb – Crumb Engineering, Ashley Austin – Morphy Makofsky Inc., Alejandro Flores – Krebs LaSalle LeMieux, Greg Smith – Walton Construction, Roy T. Dufreche & Associates, Roger Tijerino – LHFA

//

Anyone taking exception to these notes should notify the Architect, in writing, within seven (7) days of the date of receipt of this document; otherwise, the minutes shall stand approved as written.

73. 1 All parties reviewed a mockup of the building mounted awning typical for all windows on Volume 4 (buildings 16 & 17). The General Contractor advised that they are having difficulty installing the awning due to the spacing of the louvers and the required length of lag bolts to install this item. Tony Yount stated that they will review this matter thoroughly with their subcontractor to determine if this issue can be resolved without modification to the awning itself. It was noted by Mr. Yount that the installed awning is a mockup and is the only awning fabricated at this time.

Other comments noted by Ryan Faulk are:

1. The awning width is in excess of what is shown on the drawings. The overall width of the awning shall match the overall width of the window, including the trim, typical for all.

2. All welds will be required to be ground smooth prior to finishing.

73. 2 All parties reviewed a mockup until on the Second Floor of Building 17, whereby broadloom carpet has been installed in the bedroom and cultured marble installed within the bathroom. Upon review, H/S made the following observations for correction by the General Contractor:

1. Broadloom carpet must extend beneath wood base to provide protection at the edges of the carpet to prevent unraveling.

2. A metal transition is required between the carpet and ceramic tile.

3. Blocking is required to provide support for molded cultured marble countertops.

4. Side splash termination at outboard edge of countertop is unacceptable and rejected.

5. Installation of exposed range exhaust hood duct is rejected. This item has been installed using

standard duct in lieu of paint grip as required. Additionally, aluminum clad duct tape has been used to seal joints and is unacceptable in an exposed condition. General Contractor agreed with this determination and stated they will revise the mockup installation accordingly.

73. 3 Tanner Broughton stated that the connecting walkway between Building 16 and 17 is scheduled to be poured this Thursday, May 26, 2011.

73. 4 Pouring of site grade beams at the east side of Building 17 was in progress.

73. 5 H/S reviewed bottom of wall condition at Volume 3 where stucco is adjacent to concrete paving. It was observed by Ryan Faulk in most of these areas, no joint exists between the bottom of the stucco and the cement pavement, effectively trapping water within the wall. Furthermore, sheet copper required for installation in these areas has not been installed as required by the contract documents. This, as well as the exposed sheething and framing at the bottom of wall adjacent to planters will be addressed under separate cover.

73. 6 Ryan Faulk reviewed the finish grade elevations with Tanner Broughton and Russell Stallings, noting that the grades indicated on the civil drawings as existing shall be used as finish grade elevations; however, General Contractor shall lower these grades approximately 2 to 3 inches where adjacent to concrete paving or curbs to allow for installation of sod. Positive drainage shall be maintained at all times around buildings.

73. 7 Balcony framing for Volume 3, Building C was in progress.

END OF MEETING MINUTES

Vol. 4, bldg 17 – louvered awning mockup. Outside edge of awning shall align with outside edge of window trim.

Vol. 4, bldg 17 – louvered awning mockup.

Volume 4 – mockup of exposed range duct

Volume 4 – carpet installation in bedroom

Volume 4 – cultured marble side-splash

Volume 4 – kitchen 135 pass-through window. Tile alignment must be consistent along jamb.

Volume 3 – typical entry area

Volume 3 – entry door condition. Trim too tight against concrete

Volume 3 – typical wall condition. Cement board too tight against concrete, no flashing installed

Volume 3 – typical wall condition at entry door. Cement board too tight against concrete, no flashing installed

Walton Construction LLC - Southern

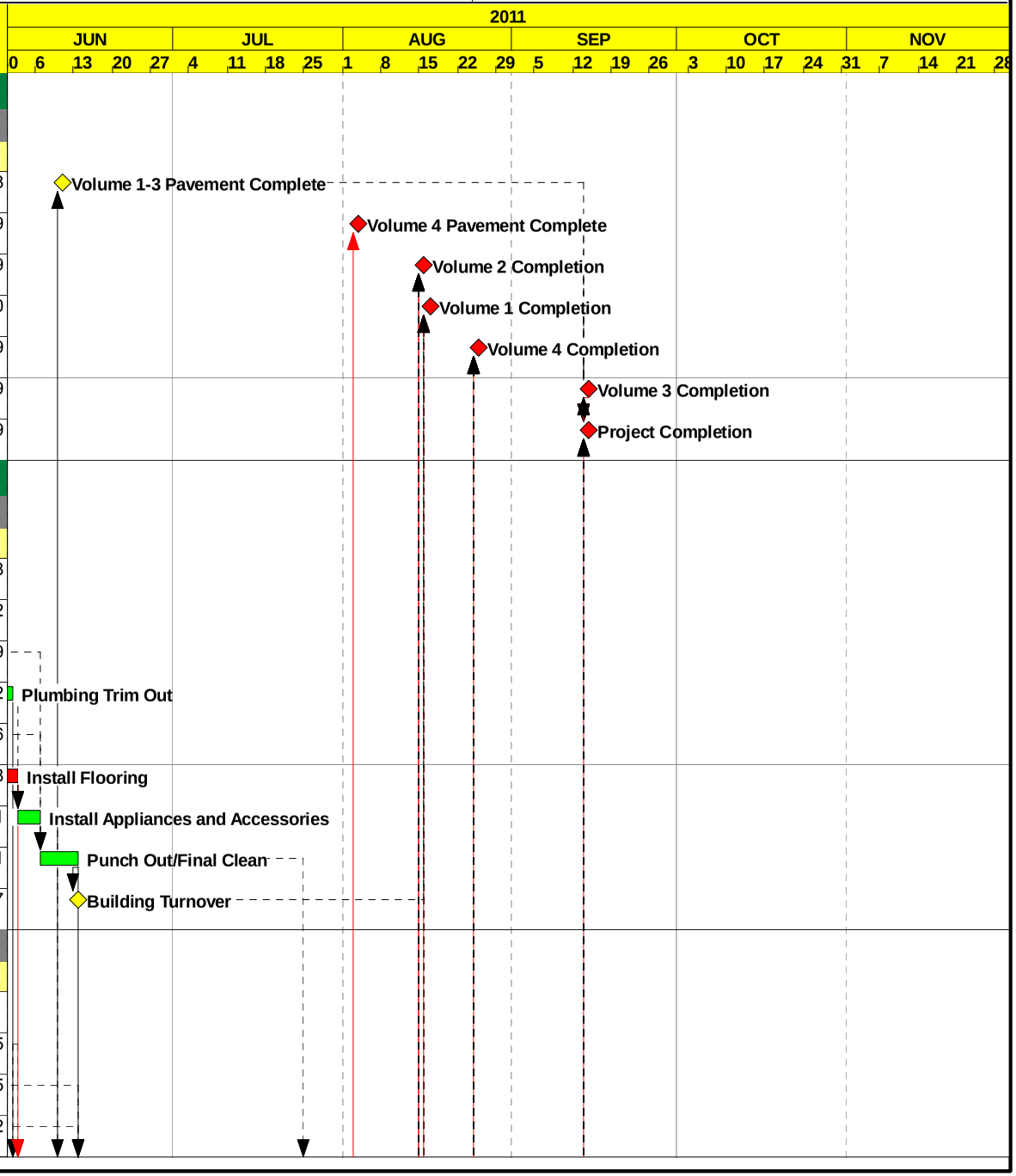
Village de Jardin - Gaslight Apts.

Classic Schedule Layout

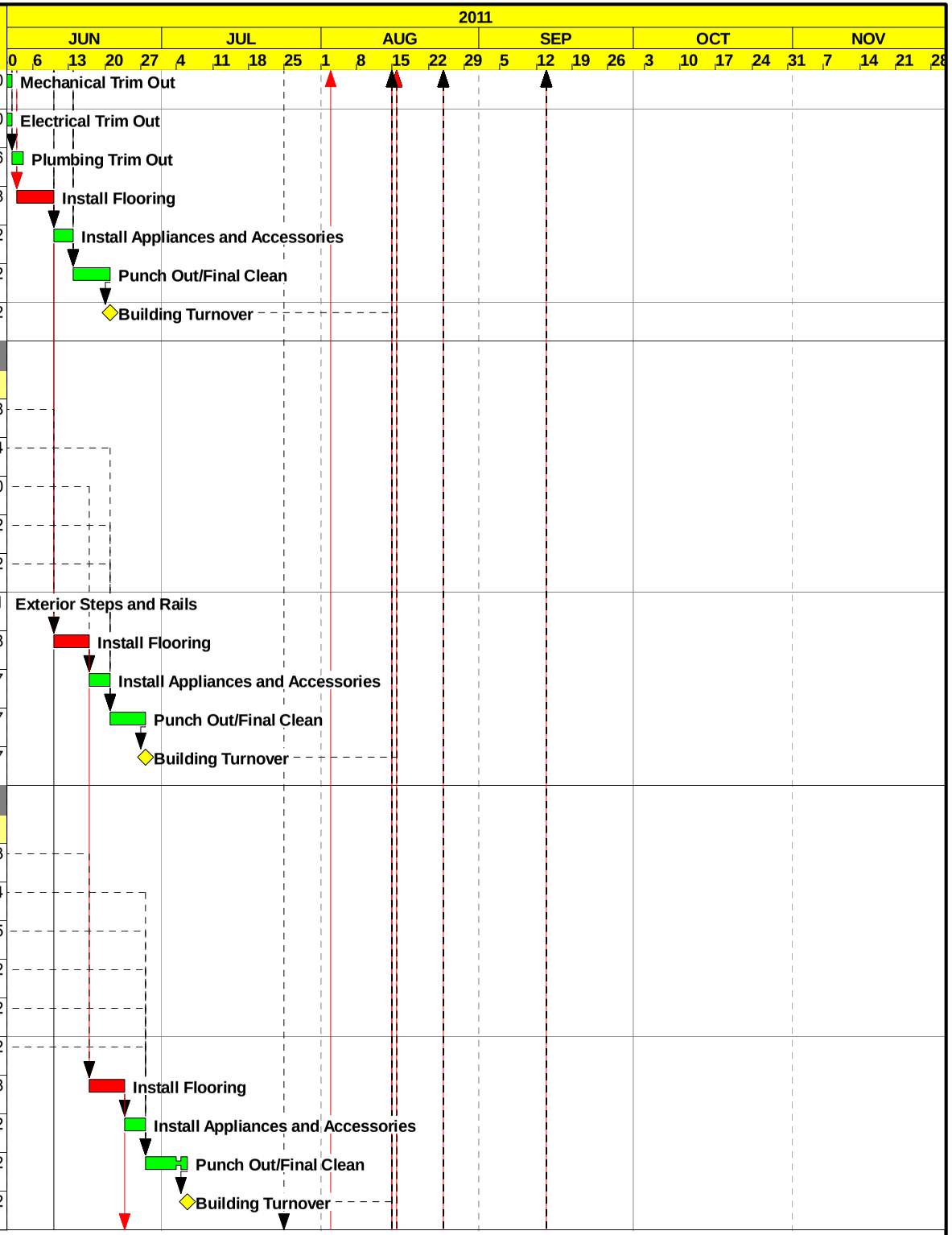
Early Bar
Target
Progress Bar
Critical Activity

Start Date	10/19/09
Finish Date	09/29/11
Data Date	05/24/11
Run Date	05/25/11 08:37
Must Finish Date	07/07/11

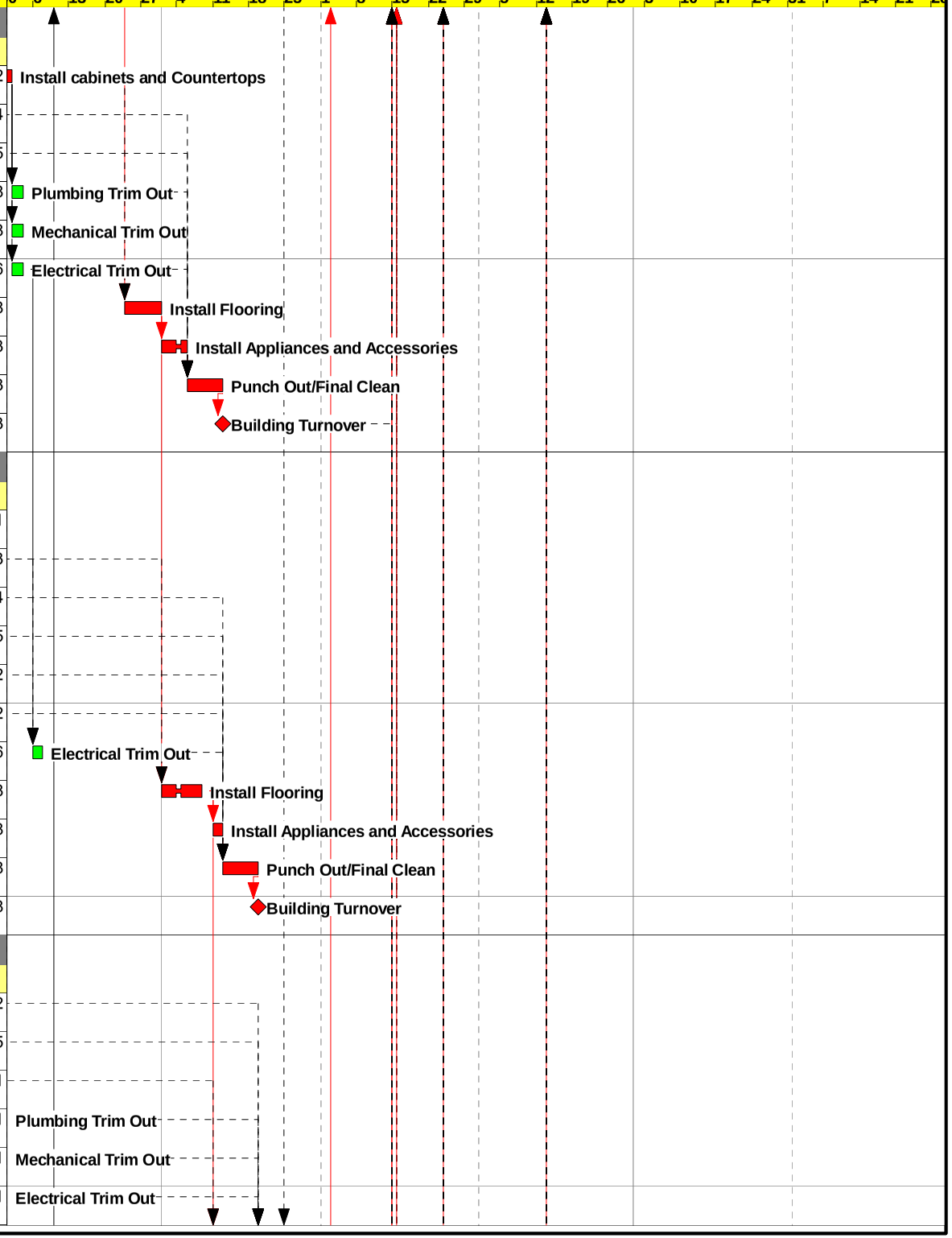
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
Key Dates					
14010	Volume 1-3 Pavement Complete	0		06/10/11	18
14020	Volume 4 Pavement Complete	0		08/03/11	-19
1770-119	Volume 2 Completion	0		08/15/11	-39
1770-109	Volume 1 Completion	0		08/16/11	-40
1770-139	Volume 4 Completion	0		08/25/11	-49
1770-129	Volume 3 Completion	0		09/14/11	-69
1770-99	Project Completion	0		09/14/11	-69
Volume 1					
Building 99					
CPR3					
99-12356	Install cabinets and Countertops	2	03/14/11A	05/25/11	-28
99-5521	Exterior Steps and Rails	2	05/24/11	05/25/11	22
99-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	9
99-15403	Plumbing Trim Out	4	05/26/11	06/01/11	2
99-15803	Mechanical Trim Out	2	05/26/11	05/27/11	6
99-9600	Install Flooring	5	05/26/11	06/02/11	-28
99-11451	Install Appliances and Accessories	2	06/03/11	06/06/11	1
99-1400	Punch Out/Final Clean	5	06/07/11	06/13/11	1
99-1770	Building Turnover	0		06/13/11	17
Building 100					
CPR3					
100-7480	Exterior Stucco	0	02/16/11A	03/11/11A	
100-12356	Install cabinets and Countertops	2	03/21/11A	05/27/11	-25
100-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
100-5521	Exterior Steps and Rails	2	05/26/11	05/27/11	22



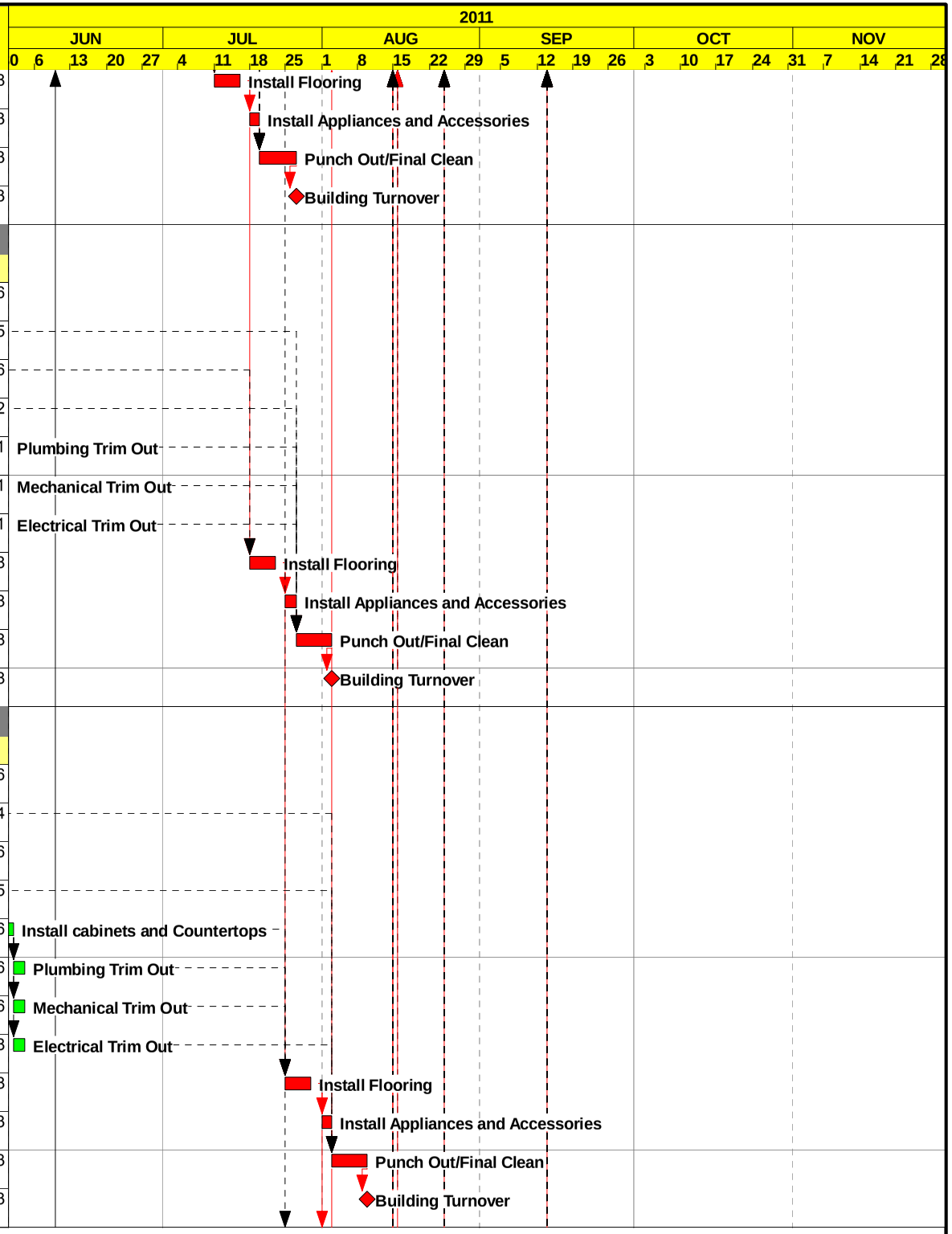
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
100-15803	Mechanical Trim Out	2	05/31/11	06/01/11	20
100-16012	Electrical Trim Out	2	05/31/11	06/01/11	20
100-15403	Plumbing Trim Out	2	06/02/11	06/03/11	16
100-9600	Install Flooring	5	06/03/11	06/09/11	-28
100-11451	Install Appliances and Accessories	2	06/10/11	06/13/11	12
100-1400	Punch Out/Final Clean	5	06/14/11	06/20/11	12
100-1770	Building Turnover	0		06/20/11	12
Building 101					
101-12356	Install cabinets and Countertops	2	03/31/11A	05/25/11	-18
101-7421	Install Gutters & Down Spouts	2	05/24/11	05/25/11	24
101-15403	Plumbing Trim Out	2	05/26/11	05/27/11	20
101-15803	Mechanical Trim Out	2	05/26/11	05/27/11	22
101-16012	Electrical Trim Out	2	05/26/11	05/27/11	22
101-5521	Exterior Steps and Rails	2	05/27/11	05/31/11	21
101-9600	Install Flooring	5	06/10/11	06/16/11	-28
101-11451	Install Appliances and Accessories	2	06/17/11	06/20/11	7
101-1400	Punch Out/Final Clean	5	06/21/11	06/27/11	7
101-1770	Building Turnover	0		06/27/11	7
Building 102					
102-12356	Install cabinets and Countertops	2	03/31/11A	05/25/11	-13
102-5521	Exterior Steps and Rails	2	05/24/11	05/25/11	24
102-7421	Install Guttrs & Down Spouts	1	05/24/11	05/24/11	25
102-15403	Plumbing Trim Out	2	05/26/11	05/27/11	22
102-15803	Mechanical Trim Out	2	05/26/11	05/27/11	22
102-16012	Electrical Trim Out	2	05/26/11	05/27/11	22
102-9600	Install Flooring	5	06/17/11	06/23/11	-28
102-11451	Install Appliances and Accessories	2	06/24/11	06/27/11	2
102-1400	Punch Out/Final Clean	5	06/28/11	07/05/11	2
102-1770	Building Turnover	0		07/05/11	2



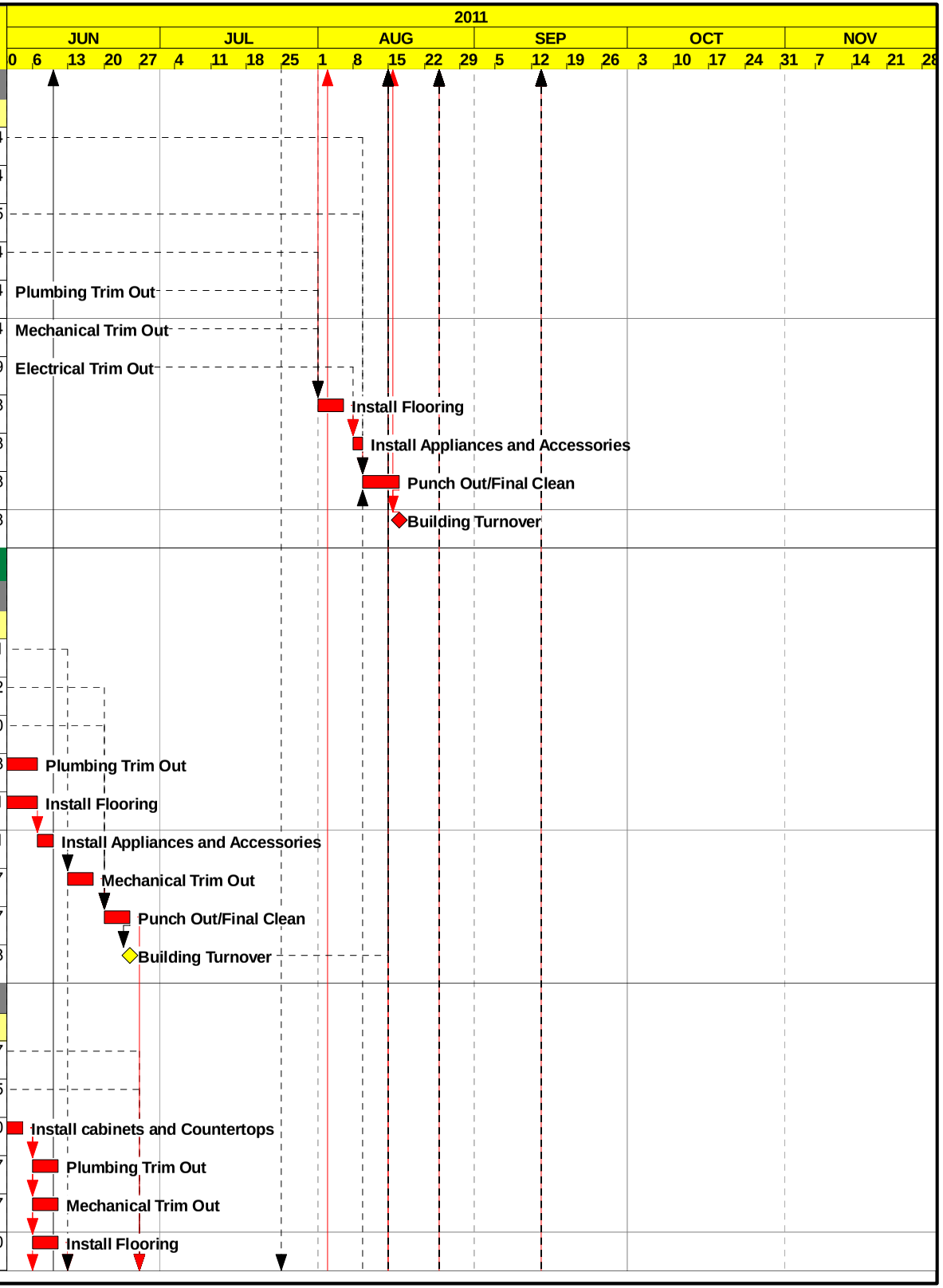
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
Building 103					
103-12356	Install cabinets and Countertops	2	04/01/11A	06/01/11	-12
103-5521	Exterior Steps and Rails	2	05/24/11	05/25/11	24
103-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
103-15403	Plumbing Trim Out	2	06/02/11	06/03/11	18
103-15803	Mechanical Trim Out	2	06/02/11	06/03/11	18
103-16012	Electrical Trim Out	2	06/02/11	06/03/11	16
103-9600	Install Flooring	5	06/24/11	06/30/11	-28
103-11451	Install Appliances and Accessories	2	07/01/11	07/05/11	-3
103-1400	Punch Out/Final Clean	5	07/06/11	07/12/11	-3
103-1770	Building Turnover	0		07/12/11	-3
Building 104					
104-6105	Install Windows	1	02/01/11A	05/24/11	1
104-12356	Install cabinets and Countertops	2	05/24/11	05/25/11	-3
104-5521	Exterior Steps and Rails	2	05/24/11	05/25/11	24
104-7431	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
104-15403	Plumbing Trim Out	2	05/26/11	05/27/11	22
104-15803	Mechanical Trim Out	2	05/26/11	05/27/11	22
104-16012	Electrical Trim Out	2	06/06/11	06/07/11	16
104-9600	Install Flooring	5	07/01/11	07/08/11	-28
104-11451	Install Appliances and Accessories	2	07/11/11	07/12/11	-8
104-1400	Punch Out/Final Clean	5	07/13/11	07/19/11	-8
104-1770	Building Turnover	0		07/19/11	-8
Building 105					
105-5521	Exterior Steps and Rails	2	05/24/11	05/25/11	22
105-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
105-12356	Install cabinets and Countertops	2	05/25/11	05/26/11	1
105-15403	Plumbing Trim Out	2	05/27/11	05/31/11	21
105-15803	Mechanical Trim Out	2	05/27/11	05/31/11	21
105-16012	Electrical Trim Out	2	05/27/11	05/31/11	21



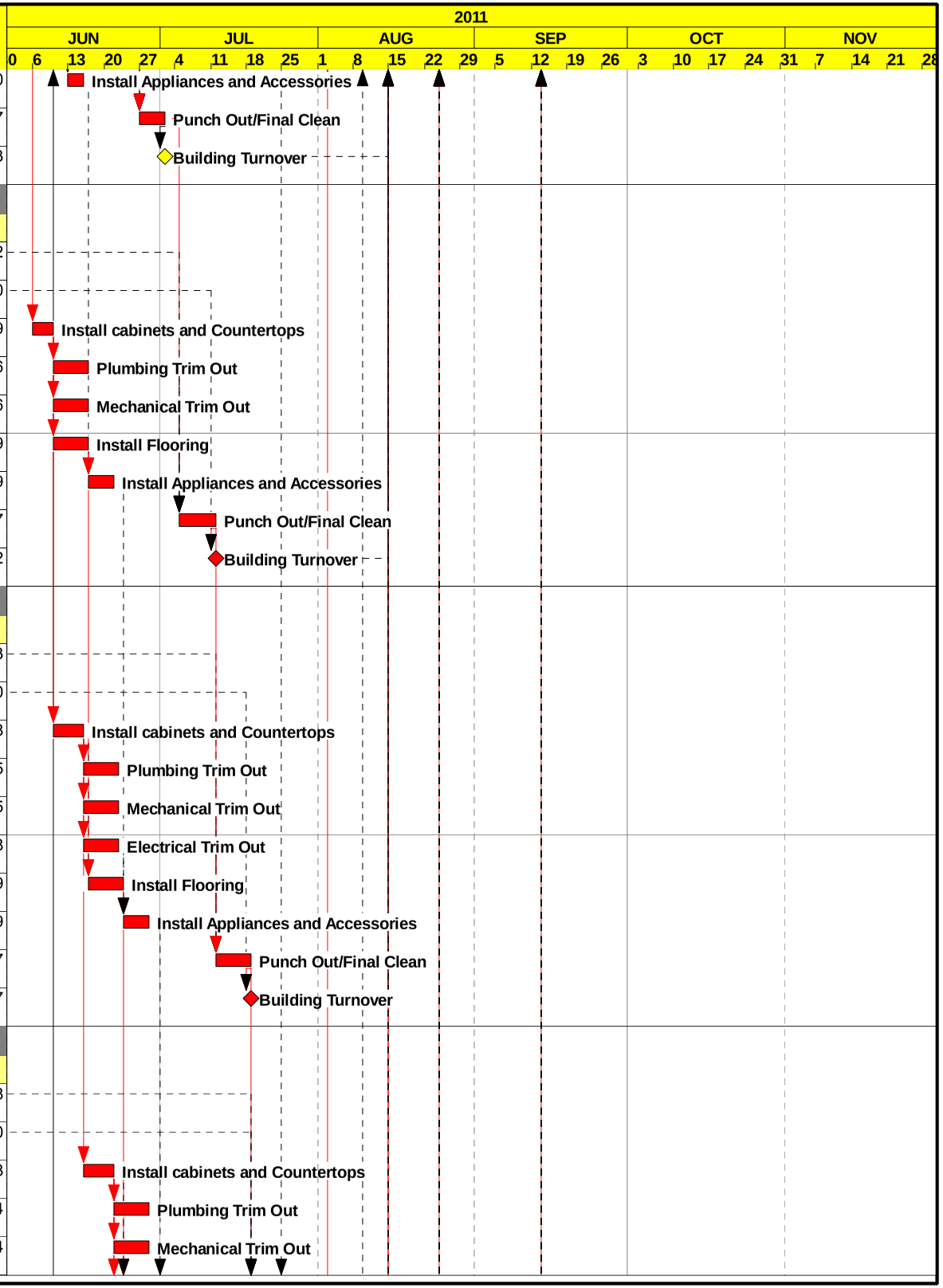
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
105-9600	Install Flooring	5	07/11/11	07/15/11	-28
105-11451	Install Appliances and Accessories	2	07/18/11	07/19/11	-13
105-1400	Punch Out/Final Clean	5	07/20/11	07/26/11	-13
105-1770	Building Turnover	0		07/26/11	-13
Building 106					
106-6105	Install Windows	1	05/24/11	05/24/11	6
106-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
106-12356	Install cabinets and Countertops	2	05/25/11	05/26/11	6
106-5521	Exterior Steps and Rails	2	05/26/11	05/27/11	22
106-15403	Plumbing Trim Out	2	05/27/11	05/31/11	21
106-15803	Mechanical Trim Out	2	05/27/11	05/31/11	21
106-16012	Electrical Trim Out	2	05/27/11	05/31/11	21
106-9600	Install Flooring	5	07/18/11	07/22/11	-28
106-11451	Install Appliances and Accessories	2	07/25/11	07/26/11	-18
106-1400	Punch Out/Final Clean	5	07/27/11	08/02/11	-18
106-1770	Building Turnover	0		08/02/11	-18
Building 107					
107-9900	Paint	3	05/17/11A	05/27/11	6
107-5521	Exterior Steps and Rails	2	05/24/11	05/25/11	24
107-6105	Install Winndows	1	05/24/11	05/24/11	6
107-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
107-12356	Install cabinets and Countertops	2	05/31/11	06/01/11	6
107-15403	Plumbing Trim Out	2	06/02/11	06/03/11	6
107-15803	Mechanical Trim Out	2	06/02/11	06/03/11	6
107-16012	Electrical Trim Out	2	06/02/11	06/03/11	18
107-9600	Install Flooring	5	07/25/11	07/29/11	-28
107-11451	Install Appliances and Accessories	2	08/01/11	08/02/11	-23
107-1400	Punch Out/Final Clean	5	08/03/11	08/09/11	-23
107-1770	Building Turnover	0		08/09/11	-23



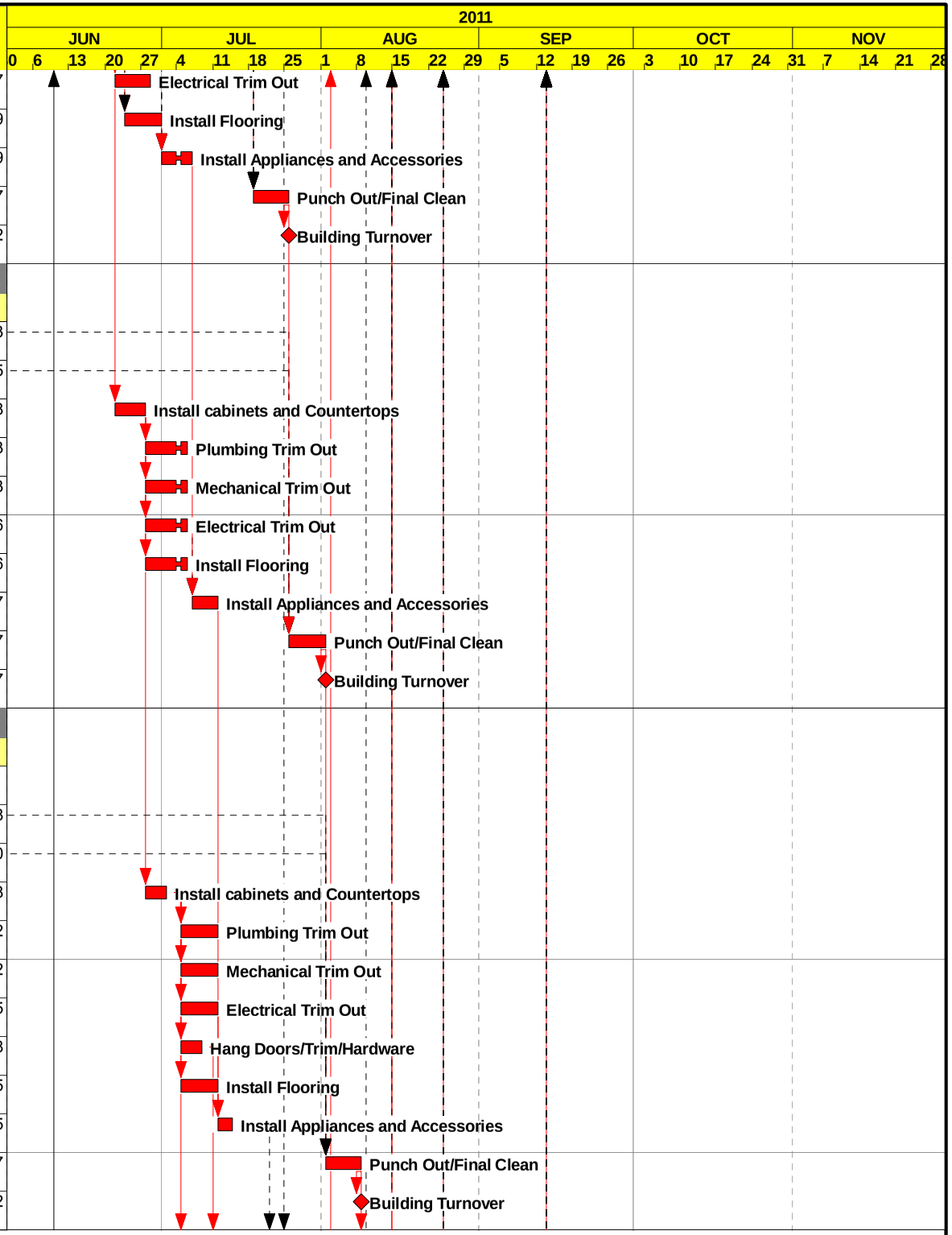
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
Building 108					
108-5521	Exterior Steps and Rails	2	05/24/11	05/25/11	24
108-6105	Install Windows	1	05/24/11	05/24/11	14
108-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
108-12356	Install cabinets and Countertops	2	05/25/11	05/26/11	14
108-15403	Plumbing Trim Out	2	05/27/11	05/31/11	14
108-15803	Mechanical Trim Out	2	05/27/11	05/31/11	14
108-16012	Electrical Trim Out	2	05/27/11	05/31/11	19
108-9600	Install Flooring	5	08/01/11	08/05/11	-28
108-11451	Install Appliances and Accessories	2	08/08/11	08/09/11	-28
108-1400	Punch Out/Final Clean	5	08/10/11	08/16/11	-28
108-1770	Building Turnover	0		08/16/11	-28
Volume 2					
Building 8					
B8-12356	Install cabinets and Countertops	4	05/24/11	05/27/11	-21
B8-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	-12
B8-7421	Install Gutters & down Spouts	1	05/24/11	05/24/11	-10
B8-15403	Plumbing Trim Out	5	05/31/11	06/06/11	-18
B8-9600	Install Flooring	5	05/31/11	06/06/11	-21
B8-11451	Install Appliances and Accessories	3	06/07/11	06/09/11	-21
B8-15803	Mechanical Trim Out	5	06/13/11	06/17/11	-27
B8-1400	Punch Out/Final Clean	5	06/20/11	06/24/11	-27
B8-1770	Building Turnover	0		06/24/11	8
Building 4					
B4-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	-7
B4-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	-5
B4-12356	Install cabinets and Countertops	4	05/31/11	06/03/11	-20
B4-15403	Plumbing Trim Out	5	06/06/11	06/10/11	-17
B4-15803	Mechanical Trim Out	5	06/06/11	06/10/11	-17
B4-9600	Install Flooring	5	06/06/11	06/10/11	-20



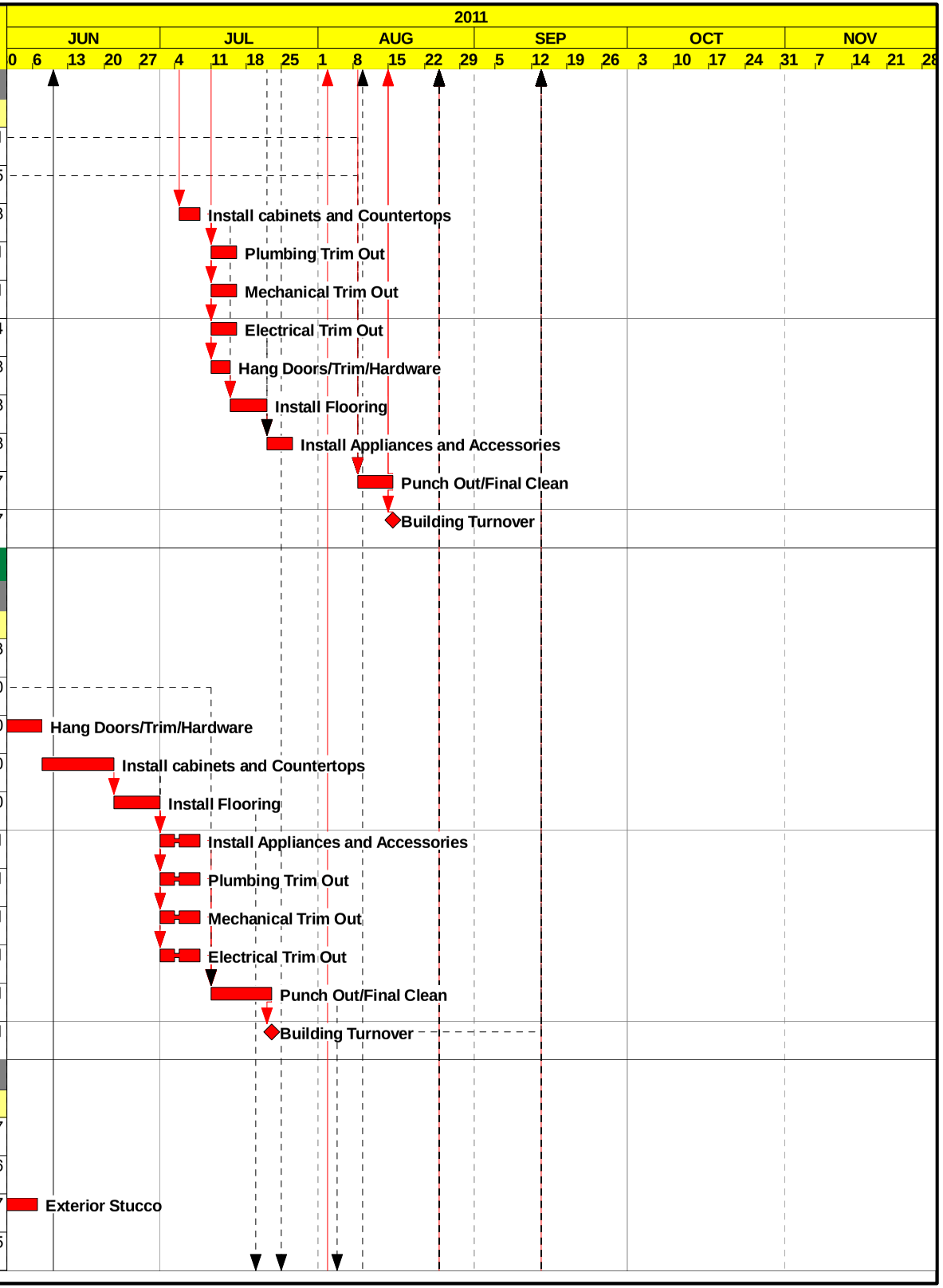
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
B4-11451	Install Appliances and Accessories	3	06/13/11	06/15/11	-20
B4-1400	Punch Out/Final Clean	5	06/27/11	07/01/11	-27
B4-1770	Building Turnover	0		07/01/11	3
Building 7					
B7-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	-2
B7-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	30
B7-12356	Install cabinets and Countertops	4	06/06/11	06/09/11	-19
B7-15403	Plumbing Trim Out	5	06/10/11	06/16/11	-16
B7-15803	Mechanical Trim Out	5	06/10/11	06/16/11	-16
B7-9600	Install Flooring	5	06/10/11	06/16/11	-19
B7-11451	Install Appliances and Accessories	3	06/17/11	06/21/11	-19
B7-1400	Punch Out/Final Clean	5	07/05/11	07/11/11	-27
B7-1770	Building Turnover	0		07/11/11	-2
Building 3					
B3-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	3
B3-7421	Install Gutter & Down Spouts	1	05/24/11	05/24/11	30
B3-12356	Install cabinets and Countertops	4	06/10/11	06/15/11	-18
B3-15403	Plumbing Trim Out	5	06/16/11	06/22/11	-15
B3-15803	Mechanical Trim Out	5	06/16/11	06/22/11	-15
B3-16012	Electrical Trim Out	5	06/16/11	06/22/11	-18
B3-9600	Install Flooring	5	06/17/11	06/23/11	-19
B3-11451	Install Appliances and Accessories	3	06/24/11	06/28/11	-19
B3-1400	Punch Out/Final Clean	5	07/12/11	07/18/11	-27
B3-1770	Building Turnover	0		07/18/11	-7
Building 6					
B6-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	8
B6-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	10
B6-12356	Install cabinets and Countertops	4	06/16/11	06/21/11	-18
B6-15403	Plumbing Trim Out	5	06/22/11	06/28/11	-14
B6-15803	Mechanical Trim Out	5	06/22/11	06/28/11	-14



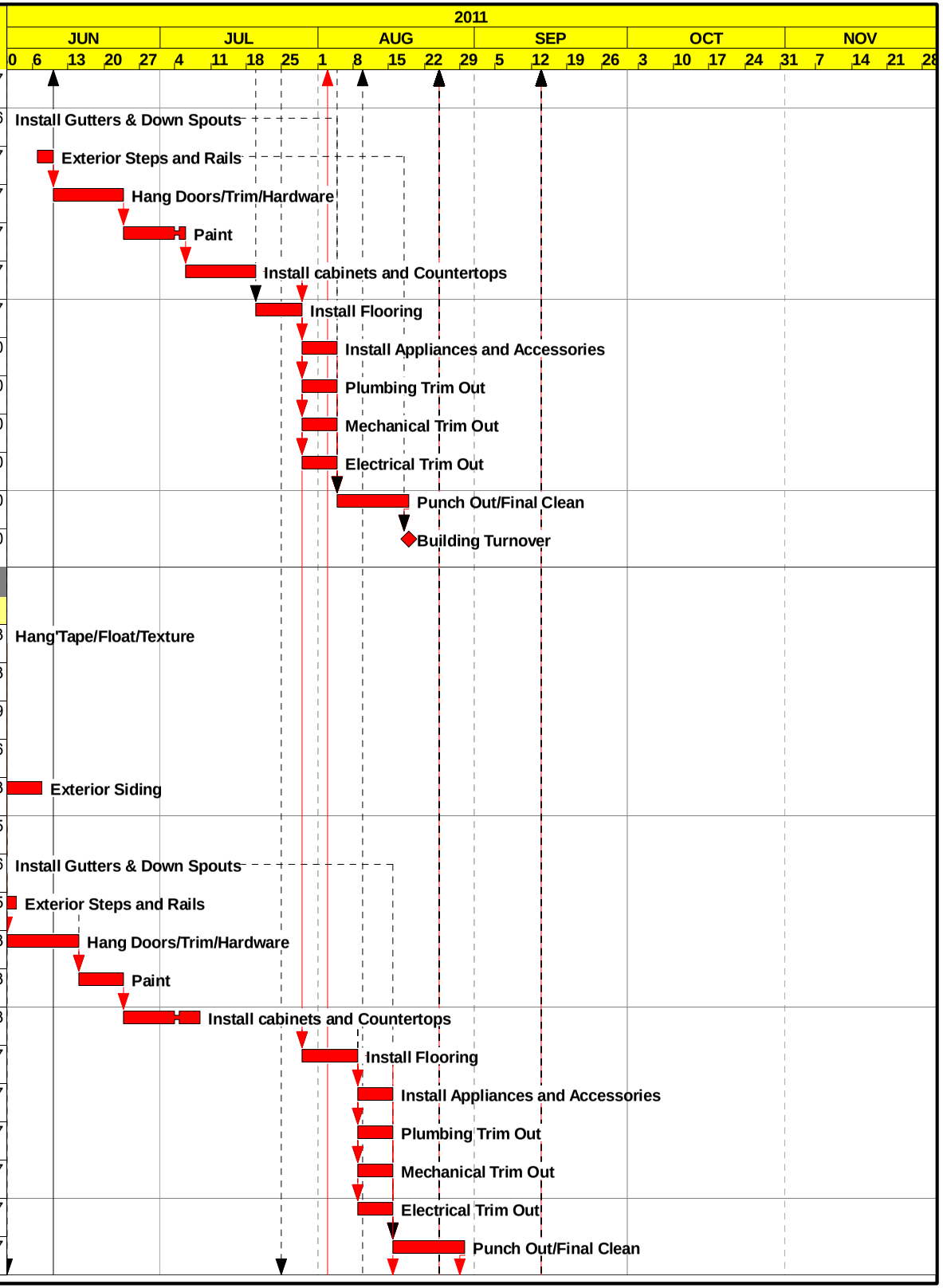
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
B6-16012	Electrical Trim Out	5	06/22/11	06/28/11	-17
B6-9600	Install Flooring	5	06/24/11	06/30/11	-19
B6-11451	Install Appliances and Accessories	3	07/01/11	07/06/11	-19
B6-1400	Punch Out/Final Clean	5	07/19/11	07/25/11	-27
B6-1770	Building Turnover	0		07/25/11	-12
Building 2					
B2-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	13
B2-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	15
B2-12356	Install cabinets and Countertops	4	06/22/11	06/27/11	-18
B2-15403	Plumbing Trim Out	5	06/28/11	07/05/11	-13
B2-15803	Mechanical Trim Out	5	06/28/11	07/05/11	-13
B2-16012	Electrical Trim Out	5	06/28/11	07/05/11	-16
B2-9600	Install Flooring	5	06/28/11	07/05/11	-16
B2-11451	Install Appliances and Accessories	3	07/07/11	07/11/11	-17
B2-1400	Punch Out/Final Clean	5	07/26/11	08/01/11	-27
B2-1770	Building Turnover	0		08/01/11	-17
Building 5					
B5-15401	Plumbing Rough-in - In Wall	0	10/25/10A	11/04/10A	
B5-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	18
B5-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	20
B5-12356	Install cabinets and Countertops	4	06/28/11	07/01/11	-18
B5-15403	Plumbing Trim Out	5	07/05/11	07/11/11	-12
B5-15803	Mechanical Trim Out	5	07/05/11	07/11/11	-12
B5-16012	Electrical Trim Out	5	07/05/11	07/11/11	-15
B5-8212	Hang Doors/Trim/Hardware	4	07/05/11	07/08/11	-18
B5-9600	Install Flooring	5	07/05/11	07/11/11	-15
B5-11451	Install Appliances and Accessories	3	07/12/11	07/14/11	-15
B5-1400	Punch Out/Final Clean	5	08/02/11	08/08/11	-27
B5-1770	Building Turnover	0		08/08/11	-22



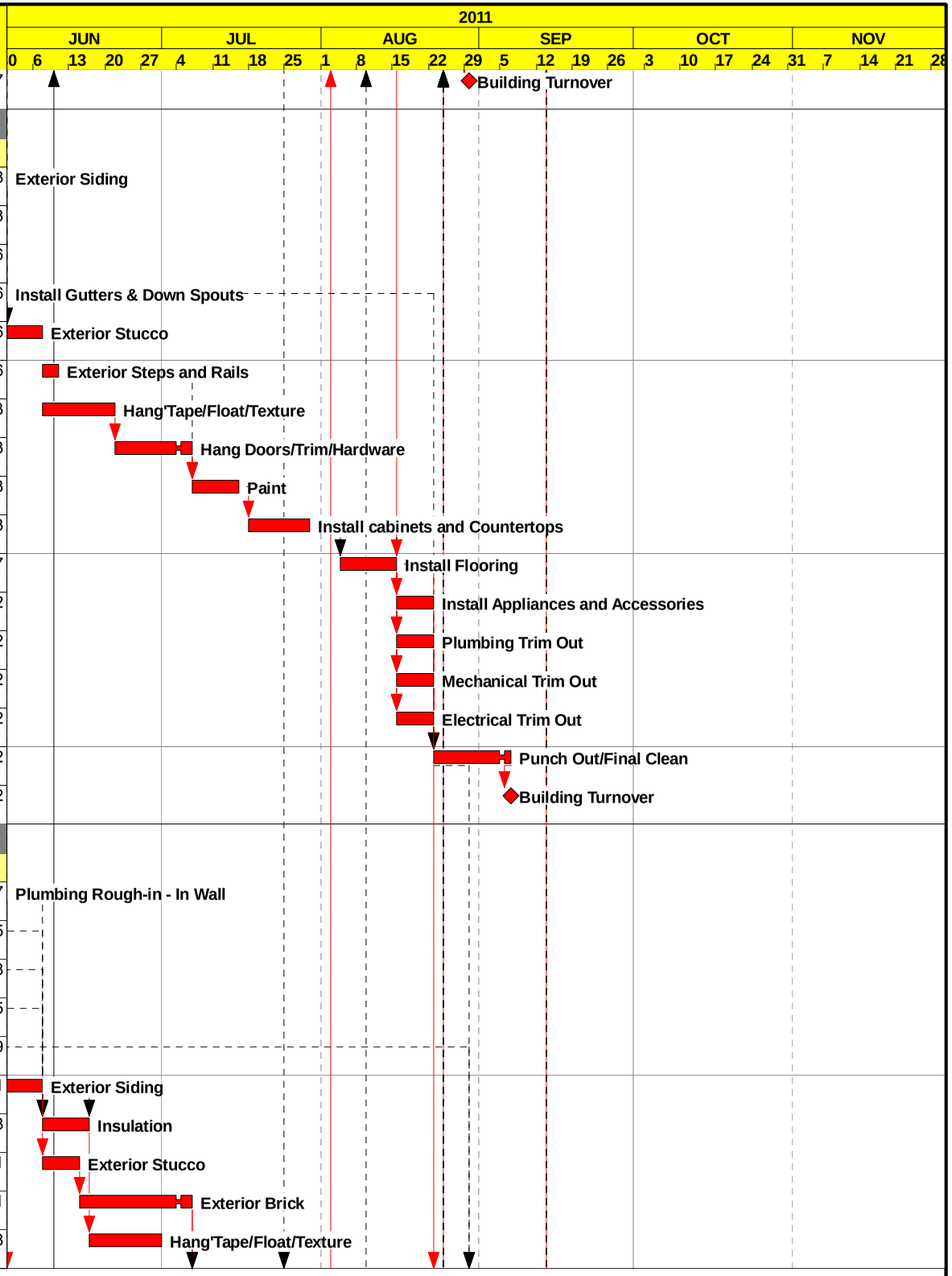
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
Building 1					
B1-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	21
B1-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	25
B1-12356	Install cabinets and Countertops	4	07/05/11	07/08/11	-18
B1-15403	Plumbing Trim Out	5	07/11/11	07/15/11	-11
B1-15803	Mechanical Trim Out	5	07/11/11	07/15/11	-11
B1-16012	Electrical Trim Out	5	07/11/11	07/15/11	-14
B1-8212	Hang Doors/Trim/Hardware	4	07/11/11	07/14/11	-18
B1-9600	Install Flooring	5	07/15/11	07/21/11	-18
B1-11451	Install Appliances and Accessories	3	07/22/11	07/26/11	-18
B1-1400	Punch Out/Final Clean	5	08/09/11	08/15/11	-27
B1-1770	Building Turnover	0		08/15/11	-27
Volume 3					
Building 14					
B14-5521	Exterior Steps and Rails	3	05/24/11	05/26/11	-23
B14-7421	Install Gutters & Down Spouts	1	05/24/11	05/24/11	10
B14-8212	Hang Doors/Trim/Hardware	10	05/24/11	06/07/11	-30
B14-12356	Install cabinets and Countertops	10	06/08/11	06/21/11	-30
B14-9600	Install Flooring	7	06/22/11	06/30/11	-30
B14-11451	Install Appliances and Accessories	5	07/01/11	07/08/11	-21
B14-15403	Plumbing Trim Out	5	07/01/11	07/08/11	-21
B14-15803	Mechanical Trim Out	5	07/01/11	07/08/11	-21
B14-16012	Electrical Trim Out	5	07/01/11	07/08/11	-21
B14-1400	Punch Out/Final Clean	10	07/11/11	07/22/11	-21
B14-1770	Building Turnover	0		07/22/11	-11
Building 9					
B9-7460	Exterior Siding	4	03/28/11A	05/27/11	-47
B9-7416	Install Roof Trim & Flashing	3	05/17/11A	05/26/11	16
B9-7480	Exterior Stucco	5	05/23/11A	06/06/11	-47
B9-7000	B9 Dry In	0		05/23/11	-35



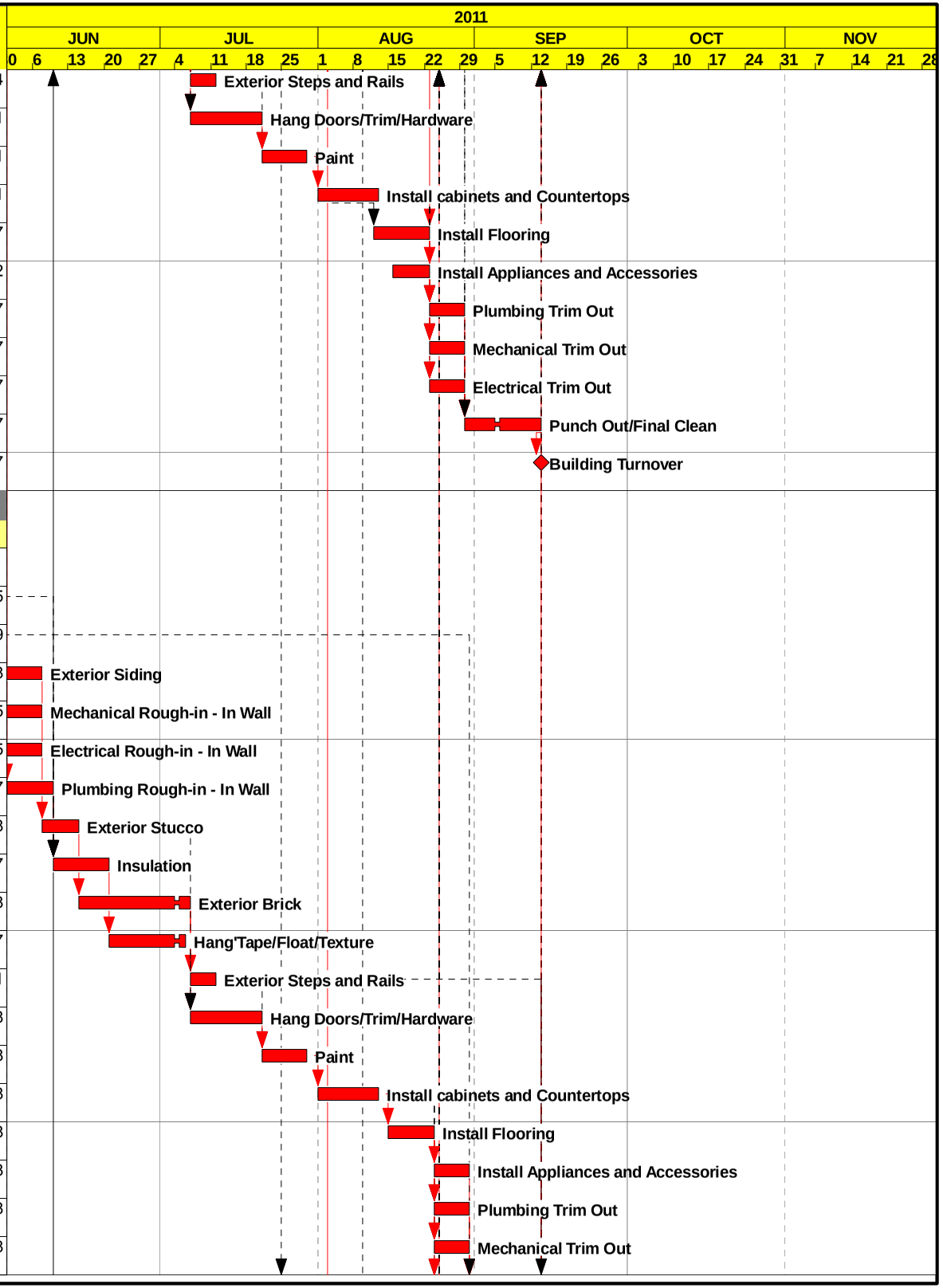
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
B9-6140	Exterior Decking	2	05/24/11	05/25/11	-47
B9-7421	Install Gutters & Down Spouts	2	05/27/11	05/31/11	16
B9-5521	Exterior Steps and Rails	3	06/07/11	06/09/11	-47
B9-8212	Hang Doors/Trim/Hardware	10	06/10/11	06/23/11	-47
B9-9900	Paint	7	06/24/11	07/05/11	-47
B9-12356	Install cabinets and Countertops	10	07/06/11	07/19/11	-47
B9-9600	Install Flooring	7	07/20/11	07/28/11	-47
B9-11451	Install Appliances and Accessories	5	07/29/11	08/04/11	-30
B9-15403	Plumbing Trim Out	5	07/29/11	08/04/11	-30
B9-15803	Mechanical Trim Out	5	07/29/11	08/04/11	-30
B9-16012	Electrical Trim Out	5	07/29/11	08/04/11	-30
B9-1400	Punch Out/Final Clean	10	08/05/11	08/18/11	-30
B9-1770	Building Turnover	0		08/18/11	-30
Building 13					
B13-9250	Hang'Tape/Float/Texture	5	05/18/11A	05/31/11	-33
B13-7000	B13 Dry In	0		05/23/11	-33
B13-6140	Exterior Decking	2	05/24/11	05/25/11	29
B13-7416	Install Roof Trim & Flashing	3	05/24/11	05/26/11	16
B13-7460	Exterior Siding	10	05/24/11	06/07/11	-43
B13-7480	Exterior Stucco	4	05/24/11	05/27/11	-25
B13-7421	Install Gutters & Down Spouts	2	05/27/11	05/31/11	16
B13-5521	Exterior Steps and Rails	3	05/31/11	06/02/11	-25
B13-8212	Hang Doors/Trim/Hardware	10	06/01/11	06/14/11	-33
B13-9900	Paint	7	06/15/11	06/23/11	-33
B13-12356	Install cabinets and Countertops	10	06/24/11	07/08/11	-33
B13-9600	Install Flooring	7	07/29/11	08/08/11	-47
B13-11451	Install Appliances and Accessories	5	08/09/11	08/15/11	-37
B13-15403	Plumbing Trim Out	5	08/09/11	08/15/11	-37
B13-15803	Mechanical Trim Out	5	08/09/11	08/15/11	-37
B13-16012	Electrical Trim Out	5	08/09/11	08/15/11	-37
B13-1400	Punch Out/Final Clean	10	08/16/11	08/29/11	-37



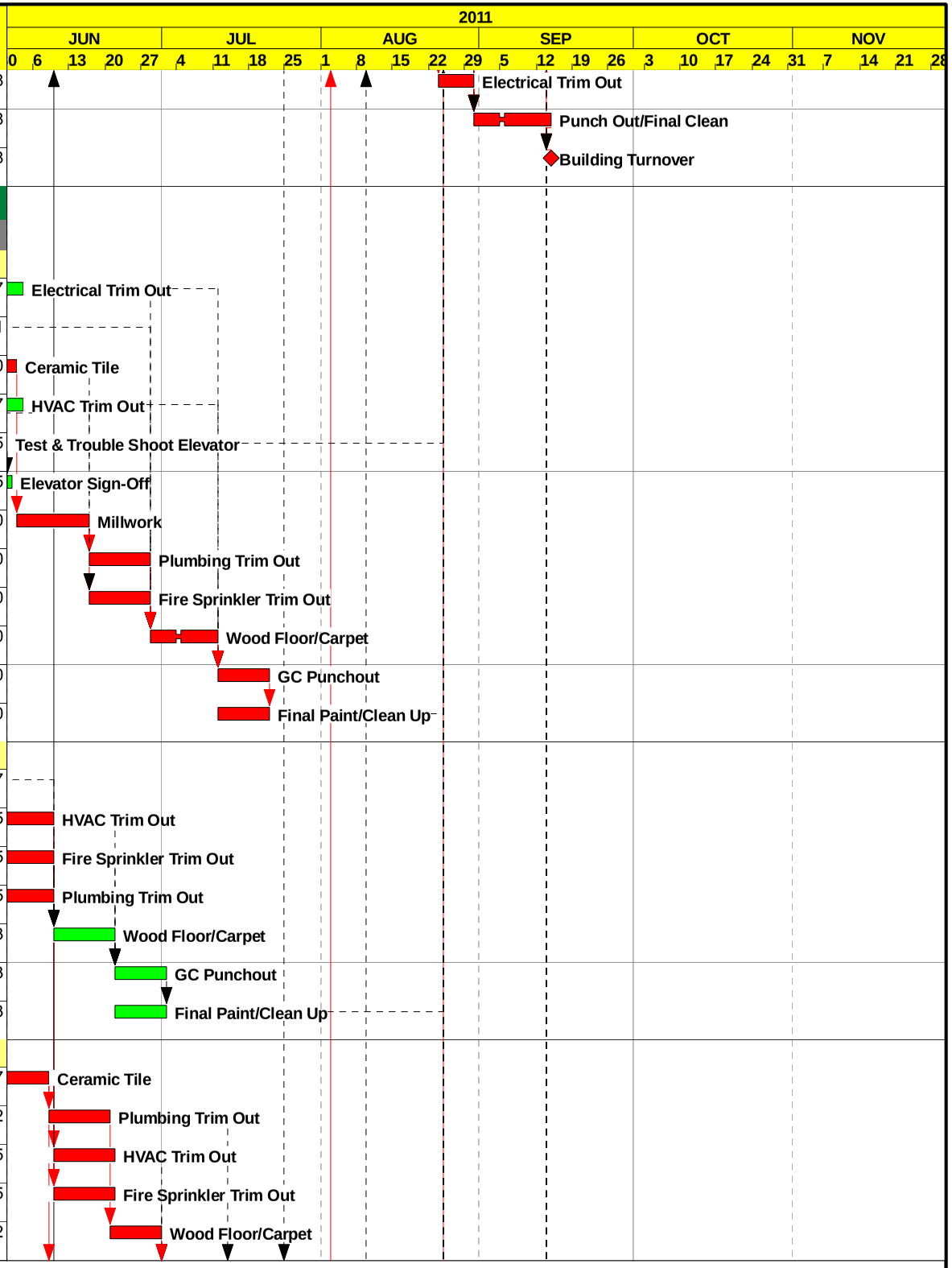
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
B13-1770	Building Turnover	0		08/29/11	-37
Building 10					
B10-7460	Exterior Siding	5	05/09/11A	05/31/11	-38
B10-7000	B10 Dry In	0		05/23/11	-33
B10-7416	Install Roof Trim & Flashing	3	05/24/11	05/26/11	16
B10-7421	Install Gutters & Down Spouts	2	05/27/11	05/31/11	16
B10-7480	Exterior Stucco	5	06/01/11	06/07/11	-26
B10-5521	Exterior Steps and Rails	3	06/08/11	06/10/11	-26
B10-9250	Hang'Tape/Float/Texture	10	06/08/11	06/21/11	-43
B10-8212	Hang Doors/Trim/Hardware	10	06/22/11	07/06/11	-43
B10-9900	Paint	7	07/07/11	07/15/11	-43
B10-12356	Install cabinets and Countertops	10	07/18/11	07/29/11	-43
B10-9600	Install Flooring	7	08/05/11	08/15/11	-47
B10-11451	Install Appliances and Accessories	5	08/16/11	08/22/11	-42
B10-15403	Plumbing Trim Out	5	08/16/11	08/22/11	-42
B10-15803	Mechanical Trim Out	5	08/16/11	08/22/11	-42
B10-16012	Electrical Trim Out	5	08/16/11	08/22/11	-42
B10-1400	Punch Out/Final Clean	10	08/23/11	09/06/11	-42
B10-1770	Building Turnover	0		09/06/11	-42
Building 12					
B12-15401	Plumbing Rough-in - In Wall	3	05/17/11A	05/31/11	-47
B12-15801	Mechanical Rough-in - In Wall	1	05/17/11A	05/26/11	-45
B12-7000	B12 Dry In	0		05/23/11	-28
B12-16011	Electrical Rough-in - In Wall	3	05/24/11	05/26/11	-45
B12-7421	Install Gutters & Down Spouts	2	05/24/11	05/25/11	19
B12-7460	Exterior Siding	10	05/24/11	06/07/11	-41
B12-7201	Insulation	7	06/08/11	06/16/11	-38
B12-7480	Exterior Stucco	5	06/08/11	06/14/11	-41
B12-4720	Exterior Brick	15	06/15/11	07/06/11	-41
B12-9250	Hang'Tape/Float/Texture	10	06/17/11	06/30/11	-38



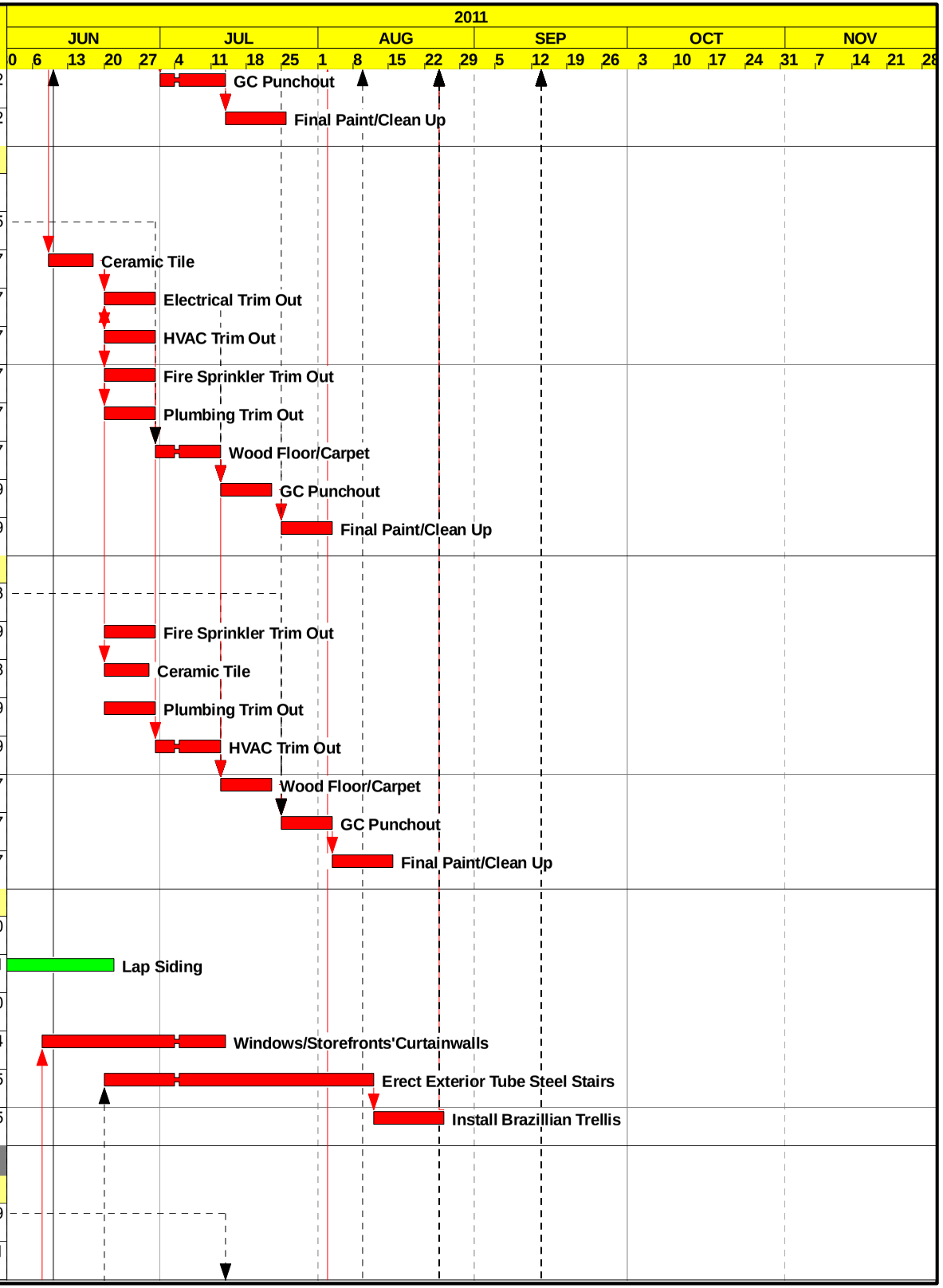
Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
B12-5521	Exterior Steps and Rails	3	07/07/11	07/11/11	-34
B12-8212	Hang Doors/Trim/Hardware	10	07/07/11	07/20/11	-41
B12-9900	Paint	7	07/21/11	07/29/11	-41
B12-12356	Install cabinets and Countertops	10	08/01/11	08/12/11	-41
B12-9600	Install Flooring	7	08/12/11	08/22/11	-47
B12-11451	Install Appliances and Accessories	5	08/16/11	08/22/11	-42
B12-15403	Plumbing Trim Out	5	08/23/11	08/29/11	-47
B12-15803	Mechanical Trim Out	5	08/23/11	08/29/11	-47
B12-16012	Electrical Trim Out	5	08/23/11	08/29/11	-47
B12-1400	Punch Out/Final Clean	10	08/30/11	09/13/11	-47
B12-1770	Building Turnover	0		09/13/11	-47
Building 11					
B11-2300	Backfill/Termite Control	0	05/14/11A	05/16/11A	
B11-7000	B11 Dry In	0		05/23/11	-35
B11-7421	Install Gutters & Down Spouts	2	05/24/11	05/25/11	19
B11-7460	Exterior Siding	10	05/24/11	06/07/11	-48
B11-15801	Mechanical Rough-in - In Wall	7	05/27/11	06/07/11	-45
B11-16011	Electrical Rough-in - In Wall	7	05/27/11	06/07/11	-45
B11-15401	Plumbing Rough-in - In Wall	7	06/01/11	06/09/11	-47
B11-7480	Exterior Stucco	5	06/08/11	06/14/11	-48
B11-7201	Insulation	7	06/10/11	06/20/11	-47
B11-4720	Exterior Brick	15	06/15/11	07/06/11	-48
B11-9250	Hang'Tape/Float/Texture	10	06/21/11	07/05/11	-47
B11-5521	Exterior Steps and Rails	3	07/07/11	07/11/11	-41
B11-8212	Hang Doors/Trim/Hardware	10	07/07/11	07/20/11	-48
B11-9900	Paint	7	07/21/11	07/29/11	-48
B11-12356	Install cabinets and Countertops	10	08/01/11	08/12/11	-48
B11-9600	Install Flooring	7	08/15/11	08/23/11	-48
B11-11451	Install Appliances and Accessories	5	08/24/11	08/30/11	-48
B11-15403	Plumbing Trim Out	5	08/24/11	08/30/11	-48
B11-15803	Mechanical Trim Out	5	08/24/11	08/30/11	-48



Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
B11-16012	Electrical Trim Out	5	08/24/11	08/30/11	-48
B11-1400	Punch Out/Final Clean	10	08/31/11	09/14/11	-48
B11-1770	Building Turnover	0		09/14/11	-48
Volume 4					
Building 16					
1ST Floor					
16-22505	Electrical Trim Out	8	05/23/11A	06/03/11	7
16-17500	Hang Doors and Frames	4	05/24/11	05/27/11	11
16-18000	Ceramic Tile	7	05/24/11	06/02/11	-10
16-22510	HVAC Trim Out	8	05/24/11	06/03/11	7
16-24780	Test & Trouble Shoot Elevator	5	05/24/11	05/31/11	25
16-24785	Elevator Sign-Off	1	06/01/11	06/01/11	25
16-22000	Millwork	10	06/03/11	06/16/11	-10
16-22500	Plumbing Trim Out	8	06/17/11	06/28/11	-10
16-22515	Fire Sprinkler Trim Out	8	06/17/11	06/28/11	-10
16-22750	Wood Floor/Carpet	8	06/29/11	07/11/11	-10
16-23750	GC Punchout	8	07/12/11	07/21/11	-10
16-24750	Final Paint/Clean Up	8	07/12/11	07/21/11	-10
2ND Floor					
16-180002F	Ceramic Tile	4	05/23/11A	05/27/11	-27
1015	HVAC Trim Out	8	05/31/11	06/09/11	-5
1025	Fire Sprinkler Trim Out	8	05/31/11	06/09/11	-5
16-225002F	Plumbing Trim Out	8	05/31/11	06/09/11	-5
16-227502F	Wood Floor/Carpet	8	06/10/11	06/21/11	3
16-237502F	GC Punchout	8	06/22/11	07/01/11	3
16-247502F	Final Paint/Clean Up	8	06/22/11	07/01/11	3
3RD Floor					
16-180003F	Ceramic Tile	7	05/31/11	06/08/11	-27
16-225003F	Plumbing Trim Out	8	06/09/11	06/20/11	-12
1075	HVAC Trim Out	8	06/10/11	06/21/11	-5
1085	Fire Sprinkler Trim Out	8	06/10/11	06/21/11	-5
16-227503F	Wood Floor/Carpet	8	06/21/11	06/30/11	-12

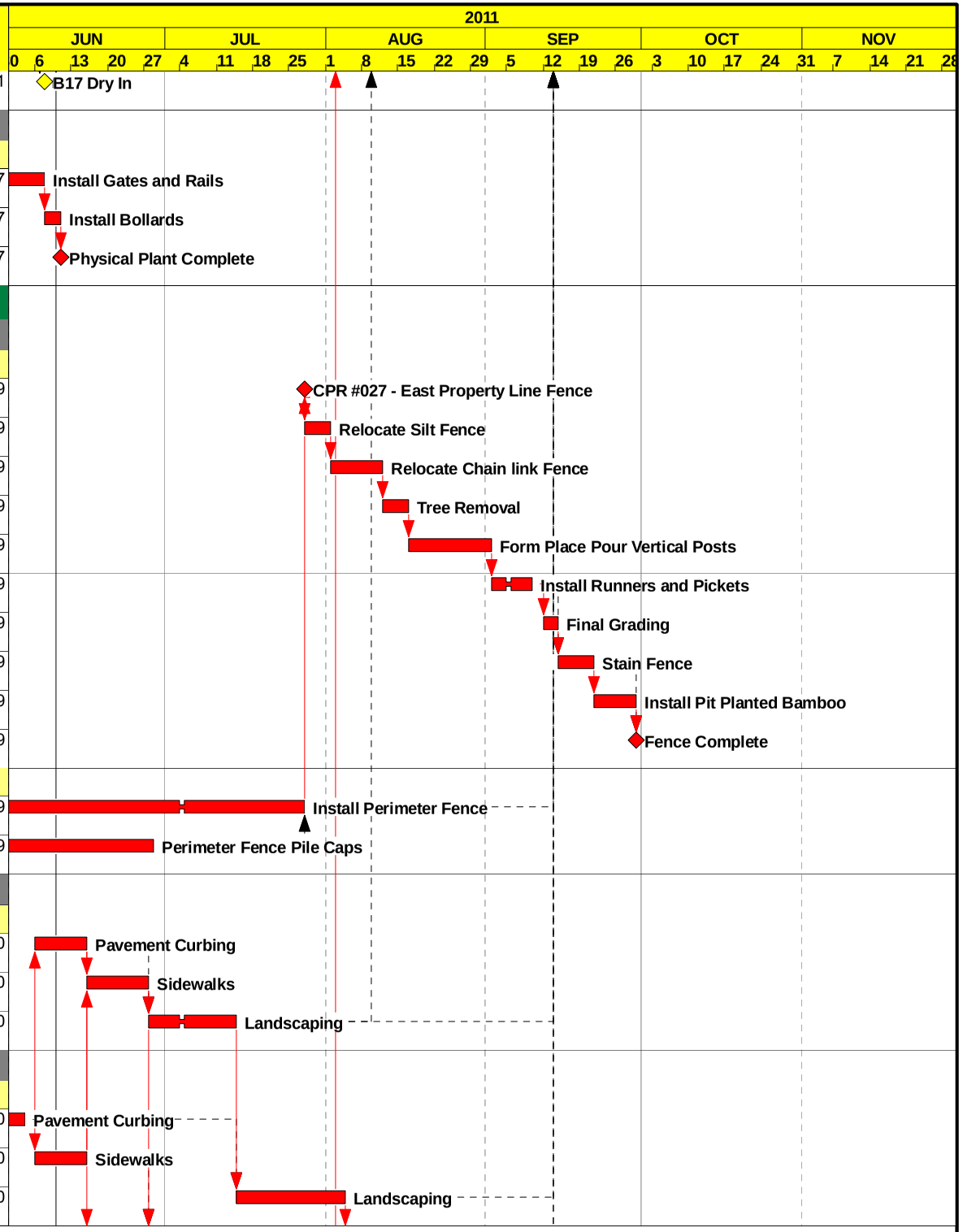


Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
16-237503F	GC Punchout	8	07/01/11	07/13/11	-12
16-247503F	Final Paint/Clean Up	8	07/14/11	07/25/11	-12
4TH Floor					
33604FS2	Electrical Rough In - 4th Floor Section 2	0	08/06/10A	08/09/10A	
16-175004F	Hang Doors and Frames	4	05/24/11	05/27/11	-5
16-180004F	Ceramic Tile	7	06/09/11	06/17/11	-27
1125	Electrical Trim Out	8	06/20/11	06/29/11	-27
1135	HVAC Trim Out	8	06/20/11	06/29/11	-27
1145	Fire Sprinkler Trim Out	8	06/20/11	06/29/11	-27
16-225004F	Plumbing Trim Out	8	06/20/11	06/29/11	-27
16-227504F	Wood Floor/Carpet	8	06/30/11	07/12/11	-27
16-237504F	GC Punchout	8	07/13/11	07/22/11	-19
16-247504F	Final Paint/Clean Up	8	07/25/11	08/03/11	-19
5TH Floor					
1165	Electrical Trim Out	4	05/02/11A	05/27/11	3
1175	Fire Sprinkler Trim Out	8	06/20/11	06/29/11	-19
16-180005F	Ceramic Tile	7	06/20/11	06/28/11	-18
16-225005F	Plumbing Trim Out	8	06/20/11	06/29/11	-19
1170	HVAC Trim Out	8	06/30/11	07/12/11	-19
16-227505F	Wood Floor/Carpet	8	07/13/11	07/22/11	-27
16-237505F	GC Punchout	8	07/25/11	08/03/11	-27
16-247505F	Final Paint/Clean Up	8	08/04/11	08/15/11	-27
Exterior					
16-9005	Spray Foam Insulation	1	11/18/10A	05/24/11	30
16-8000	Lap Siding	20	05/23/11A	06/21/11	11
B16-7000	B16 Dry In	0		05/23/11	-10
16-6000	Windows/Storefronts'Curtainwa	25	06/08/11	07/13/11	-4
16-7005	Erect Exterior Tube Steel Stairs	38	06/20/11*	08/11/11	-35
16-7010	Install Brazillian Trellis	10	08/12/11	08/25/11	-35
Building 17					
1ST Floor					
18000	Ceramic Tile	1	05/02/11A	05/24/11	-19
24785	Elevator Sign-Off	0		05/23/11	31

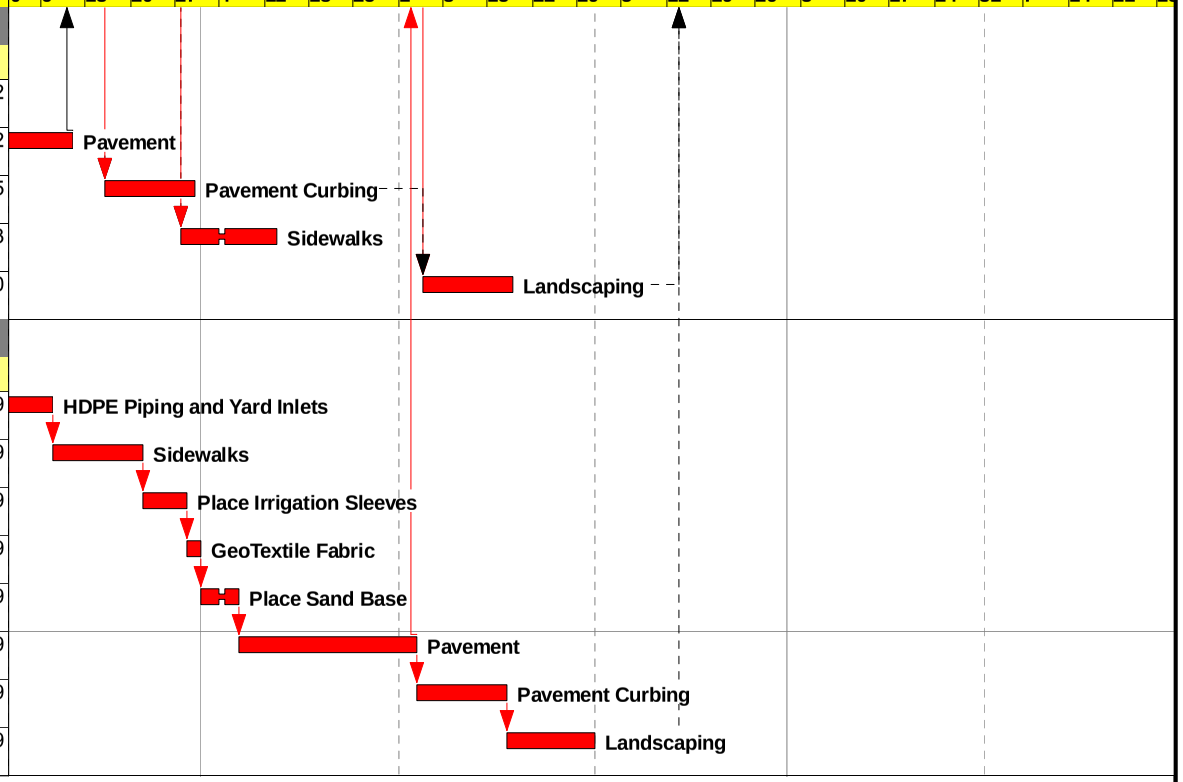


Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
22000	Millwork	30	05/24/11	07/06/11	-19
22510	HVAC Trim Out	10	05/24/11	06/07/11	11
22500	Plumbing Trim Out	10	06/13/11	06/24/11	3
22505	Electrical Trim Out	5	07/07/11	07/13/11	-9
22515	Fire Sprinkler Trim Out	10	07/07/11	07/20/11	-19
22750	Wood Floor/Carpet	5	07/07/11	07/13/11	-14
17500	Hang Doors and Frames	5	07/14/11	07/20/11	-9
23750	GC Punchout	5	07/21/11	07/27/11	-19
24750	Final Paint/Clean Up	5	07/28/11	08/03/11	-19
2ND Floor					
225002F	Plumbing Trim Out	1	05/23/11A	05/24/11	-15
227502F	Wood Floor/Carpet	5	05/25/11	06/01/11	0
237502F	GC Punchout	5	06/02/11	06/08/11	15
247502F	Final Paint/Clean Up	5	06/09/11	06/15/11	15
3RD Floor					
225002F3F	Plumbing Trim Out	10	05/25/11	06/08/11	-15
227502F3F	Wood Floor/Carpet	5	06/09/11	06/15/11	-5
237502F3F	GC Punchout	5	06/16/11	06/22/11	5
247502F3F	Final Paint/Clean Up	5	06/23/11	06/29/11	5
4TH Floor					
225002F4F	Plumbing Trim Out	10	06/09/11	06/22/11	-15
227502F4F	Wood Floor/Carpet	5	06/23/11	06/29/11	-10
237502F4F	GC Punchout	5	06/30/11	07/07/11	-5
247502F4F	Final Paint/Clean Up	5	07/08/11	07/14/11	-5
5TH Floor					
225002F5F	Plumbing Trim Out	10	06/23/11	07/07/11	-15
227502F5F	Wood Floor/Carpet	5	07/08/11	07/14/11	-15
237502F5F	GC Punchout	5	07/15/11	07/21/11	-15
247502F5F	Final Paint/Clean Up	5	07/22/11	07/28/11	-15
Exterior					
6000	Windows/Storefronts'Curtainwa	10	11/15/10A	06/07/11	-4
7005	Erect Exterior Tube Steel Stairs	15	02/21/11A	06/14/11	-17
11000	Wood Screens at Balcony	50	05/24/11	08/03/11	-19

Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
B17-7000	B17 Dry In	0		06/07/11	21
PHYP					
12339	Install Gates and Rails	10	05/24/11	06/07/11	-27
12349	Install Bollards	3	06/08/11	06/10/11	-27
12309	Physical Plant Complete	0		06/10/11	-27
Site					
Site Work					
CPR 027 - East Property Line Fence					
1250	CPR #027 - East Property Line Fence	0	07/28/11		-59
1260	Relocate Silt Fence	3	07/28/11	08/01/11	-59
1270	Relocate Chain link Fence	8	08/02/11	08/11/11	-59
1280	Tree Removal	3	08/12/11	08/16/11	-59
1290	Form Place Pour Vertical Posts	12	08/17/11	09/01/11	-59
1300	Install Runners and Pickets	5	09/02/11	09/09/11	-59
1330	Final Grading	3	09/12/11	09/14/11	-59
1310	Stain Fence	5	09/15/11	09/21/11	-59
1340	Install Pit Planted Bamboo	6	09/22/11	09/29/11	-59
1320	Fence Complete	0		09/29/11	-59
02100-11	Install Perimeter Fence	45	05/17/11A	07/27/11	-59
02100-6	Perimeter Fence Pile Caps	25	05/24/11A	06/28/11	-49
Volume 1 Site Work					
02200-100	Pavement Curbing	8	06/06/11	06/15/11	-30
02200-120	Sidewalks	8	06/16/11	06/27/11	-30
02200-110	Landscaping	12	06/28/11	07/14/11	-30
Volume 2 Site Work					
1020	Pavement Curbing	8	05/24/11	06/03/11	-30
1030	Sidewalks	8	06/06/11	06/15/11	-30
1040	Landscaping	15	07/15/11	08/04/11	-30



Activity ID	Activity Description	Rem Dur	Early Start	Early Finish	Total Float
Volume 3 Site Work					
1240	Place Base Sand	3	05/24/11	05/26/11	-2
1060	Pavement	10	05/27/11	06/10/11	-2
1070	Pavement Curbing	10	06/16/11	06/29/11	-5
1080	Sidewalks	10	06/28/11	07/12/11	-3
1090	Landscaping	10	08/05/11	08/18/11	-30
Volume 4 Site Work					
02200-80V4	HDPE Piping and Yard Inlets	10	05/24/11	06/07/11	-39
1130	Sidewalks	10	06/08/11	06/21/11	-39
1245	Place Irrigation Sleeves	5	06/22/11	06/28/11	-39
02200-60V4	GeoTextile Fabric	2	06/29/11	06/30/11	-39
02200-60V9	Place Sand Base	3	07/01/11	07/06/11	-39
1110	Pavement	20	07/07/11	08/03/11	-39
1120	Pavement Curbing	10	08/04/11	08/17/11	-39
1140	Landscaping	10	08/18/11	08/31/11	-39



Rents and Income

Enter data in green cells only

Unit Characteristics

	Number of Units	Square Footage per Unit	Gross Rent, per unit, per month	Monthly Utility Allowance	Net Rent After Utilities, per unit, per month	Monthly Rent After Utilities	Annual Rent After Utilities
0 BR High HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
0 BR Low HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
0 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
0 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
1 BR High HOME Units	-	-	$ -	$ 90	$ (90)	$ -	$ -
1 BR Low HOME Units	142		$ 574	$ 90	$ 484	$ 68,728	$ 824,736
1 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
1 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
2 BR High HOME Units				$ 100	$ (100)	$ -	$ -
2 BR Low HOME Units	82		$ 688	$ 100	$ 588	$ 48,216	$ 578,592
2 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
2 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
3 BR High HOME Units	-	-	$ -	$ 123	$ (123)	$ -	$ -
3 BR Low HOME Units			$ 788	$ 123	$ 665	$ -	$ -
3 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
3 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
4 BR High HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
4 BR Low HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
4 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
4 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
5 BR High HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
5 BR Low HOME Units	-	-	$ -	$ -	$ -	$ -	$ -
5 BR Market Rate Units	-	-	$ -		$ -	$ -	$ -
5 BR "Other" Affordable Units	-	-	$ -	$ -	$ -	$ -	$ -
Total	**224**	**0**	**NA**		**NA**	**$ 116,944**	**$ 1,403,328**

Rent Projections

	HOME Units	Market Rate Units	"Other" Affordable Units
Rent Increase per Year	0%	0%	0%
Vacancy Year 1 (Lease-Up)	15%	15%	15%
Stabilized Vacancy Rate (after Year 1)	15%	15%	15%

Other Revenue

Other Monthly Revenue*	$0
Annual Increase in Other Revenue	0%

Operating Expenses

Enter data in green cells only

Expense	Annual Cost	Monthly Cost	Additional Information	
Management Expenses				
Management Fee	$ 90,000	$ 7,500	6%	of monthly GPR
Management Administrative Payroll Costs	$ 173,000	$ 14,417	$ 772	per unit per year
Legal Fees	$ 5,000	$ 417	$ 22	per unit per year
Accounting / Audit Fees	$ 7,000	$ 583	$ 31	per unit per year
Advertising / Marketing	$ 25,000	$ 2,083	$ 112	per unit per year
Telephone	$ 20,000	$ 1,667	$ 89	per unit per year
Office Supplies	$ 10,000	$ 833	$ 45	per unit per year
Other Administrative Expenses	$ -	$ -		per unit per year
Other Management Expenses	$ -	$ -		per unit per year
Operations and Maintenance Expenses				
Security	$ 61,600	$ 5,133	$ 275	per unit per year
Operations and Maintenance Administrative Payroll Costs	$ -	$ -		per unit per year
Elevator (if any)	$ -	$ -		per unit per year
Other Mechanical Equipment	$ 75,000	$ 6,250	$ 335	per unit per year
Interior Painting	$ 16,800	$ 1,400	$ 75	per unit per year
Routine Repairs and Supplies	$ 10,000	$ 833	$ 45	per unit per year
Exterminating	$ 6,500	$ 542	$ 29	per unit per year
Lawn and Landscaping	$ 48,000	$ 4,000	$ 214	per unit per year
Garbage Removal	$ 12,000	$ 1,000	$ 54	per unit per year
Snow Removal	$ -	$ -		per unit per year
Resident Service Cost	$ 20,000	$ 1,667	$ 89	per unit per year
Other Maintenance Costs	$ 10,000	$ 833	$ 45	per unit per year
Operations and Maintenance Expenses	$ -	$ -		per unit per year
Utilities Paid by the Property				
Electricity	$ 60,000	$ 5,000	$ 268	per unit per year
Natural Gas, Oil, Other Fuel		$ -		per unit per year
Sewer and Water	$ 26,000	$ 2,167	$ 116	per unit per year
Other Utilities Paid by the Property	$ -	$ -		per unit per year
Taxes / Insurance / Reserves / Other Expenses				
Real Estate Taxes	$ -	$ -		of EGI (Year 2)
Other Taxes and Licenses	$ -	$ -		of EGI (Year 2)
Property Insurance	$ 75,000	$ 6,250	$ 335	per unit per year
Reserve for Replacement	$ 33,600	$ 2,800	$ 150	per unit per year
Operating Reserve	$ 22,400	$ 1,867	$ 100	per unit per year
90-day Start-Up Advance	$ 201,726	$ 16,811	$ 901	per unit per year
Other Operating Expense 2	$ -	$ -		per unit per year
Other Operating Expense 3	$ -	$ -		per unit per year
Other Operating Expense 4	$ -	$ -		per unit per year
Other Operating Expense 5	$ -	$ -		per unit per year
Other Operating Expense 6	$ -	$ -		per unit per year
TOTAL	$ 1,008,626	$ 84,052	84.6%	of EGI (Year 2)

Operating Expense Increase per Year	4.0%

Rent Increase per Year*

	HOME Units	Market Rate Units	Affordable Units
Rent Increase per Year	0%	3%	3%

* NOTE: Rent increase information is entered on the Rents and Income tab. The information is presented here to allow users to compare increases in rent to increases in operating expenses.

Tests of the Adequacy of Reserve for Replacement**

Average Capital Needs for Operations per Year	$	720
Reserve for Replacement per Year	$	33,600

Average Capital Needs Test: Reserve sufficient to meet specified average capital needs.

$720 per Unit, per Year Test: Reserve insufficient to meet $720 per unit, per year criterion.

** NOTE: This information is presented for informational purposes only. If the reserve for replacement is insufficient to cover average annual capital needs or meet the $720 per unit per year benchmark, increase contributions toward the reserve for replacement.

Additional Reserve for Replacement Funds (Years 1-5)***

Year 1	$	720
Year 2	$	720
Year 3	$	720
Year 4	$	720
Year 5	$	720

*** Some properties may draw larger-than-average amounts from their reserve for replacement during the first few years of operations. If this will be the case for this project, enter the additional amounts you expect to withdraw from the reserve for replacement for Years 1-5.

Upon completing this tab, proceed to the *Financing Sources* tab.

LHFA Office Building Expenses
Budget Variance Report
Fiscal Year '10

	FY10 Budget	FY10 Actuals	UNDER/(OVER) BUDGET
Electrical	10,000	3,400	6,600
Plumbing	1,400	133	1,267
Heating and A/C	50,000	18,170	31,830
Water Treatment	950	780	170
Building Exterior	1,200	11,299	(10,099)
Building Interior	12,000	1,362	10,638
Windows and Glass	500	-	500
Lighting and Fixtures	2,500	(245)	2,745
Painting and Papering	500	-	500
Carpet and Tile	9,400	6,752	2,648
Appliances	400	105	295
Grounds	6,400	3,523	2,877
Janitorial Services	72,500	60,694	11,806
Janitorial Supplies	7,200	6,309	891
Locksmith	200	142	58
Exterminating	1,200	1,240	(40)
On-Site Contract Labor	-	-	-
Elevator	6,800	4,668	2,132
Fire Safety	2,500	18,498	(15,998)
Security	-	-	-
Miscellaneous	750	-	750
Building Services Sub-Total	**186,400**	**136,830**	**49,570**
Utilities	**150,000**	**93,339**	**56,661**
Insurance (Ofc of Risk Mgmt)	**63,800**	**87,365**	**(23,565)**
Interest on Building Bonds	**267,203**	**243,020**	**24,183**
Total Building Operating Expenses	**667,403**	**560,554**	**106,849**
Capital Expenditures:			
Office and Computer Equipment			
Office Furniture & Equipment	140,000	86,573	53,427
Support Agency Software needs and improvements	65,000	26,685	38,315
Upgrade/replacement of older network equipment	95,000	43,474	51,526
Transportation			
2 Vehicles	28,476	0	28,476
Total Capital Expenditures	**328,476**	**156,732**	**171,744**
Total Office Building Expenditures	**995,879**	**717,286**	**278,593**

LHFA Office Building Expenses
Budget Variance Report
Fiscal Year '11 through March '11

	FY11 Budget	Actual Through 3/31/2011	Budget Remaining	Projected Actual	PROJECTED UNDER/(OVER) BUDGET
Electrical - 6575	10,000	2,673	7,327	3,564	6,436
Plumbing - 6576	1,000	125	875	167	833
Heating and A/C - 6577	40,000	15,808	24,192	21,077	18,923
Carpet and Tile - 6578	9,400	-	9,400	-	9,400
Grounds - 6579	5,000	12,602	(7,602)	16,802	(11,802)
Janitorial Services - 6580	65,000	37,073	27,927	49,431	15,569
Janitorial Supplies - 6581	7,200	4,229	2,971	5,639	1,561
Exterminating - 6582	1,100	920	180	1,227	(127)
Elevator - 6583	6,800	3,830	2,970	5,107	1,693
Fire Safety - 6584	2,500	5,608	(3,108)	7,477	(4,977)
Misc. Contract Labor - 6585	750	136	614	181	569
Building Exterior - 6586	1,200	503	697	671	529
Building Interior - 6587	4,400	1,226	3,174	1,634	2,766
Windows and Glass - 6588	2,000	-	2,000	-	2,000
Lighting and Fixtures - 6589	2,500	413	2,087	551	1,949
Appliances - 6590	400	274	126	365	35
Locksmith - 6591	200	-	200	-	200
Water Treatment - 6592	900	585	315	780	120
Security	12,000	-	12,000	-	12,000
Building Services Sub-Total	**172,350**	**86,005**	**86,346**	**114,673**	**57,677**
Utilities	**120,000**	**77,540**	**42,460**	**103,387**	**16,613**
Insurance (Ofc of Risk Mgmt)	**60,000**	**83,480**	**(23,480)**	**83,480**	**(23,480)**
Interest on Building Bonds	**117,465**	**58,733**	**58,733**	**117,465**	**0**
Total Building Operating Expenses	**469,815**	**305,757**	**164,058**	**419,005**	**50,810**
Capital Expenditures:					
Office and Computer Equipment					
Office Furniture & Equipment	-	8,219	(8,219)	12,772	(12,772)
Replacement of old PC's	10,000	1,743	8,257	1,743	8,257
Upgrade/replacement of older network equipment	10,000	-	10,000	-	10,000
Strategic/Enterprise Data Management & Consolidation	50,000	-	50,000	-	50,000
Video Conferencing/Streaming of LHFA Board Meetings	50,000	-	50,000	-	50,000
Emergency Power and Cooling	215,000	-	215,000	-	215,000
Transportation					
2 Vehicles	28,476	28,630	(154)	28,630	(154)
Total Capital Expenditures	**363,476**	**38,592**	**324,884**	**43,145**	**320,331**
Total Office Building Expenditures	**833,291**	**344,349**	**488,942**	**462,150**	**371,141**

Notes:
1) Grounds Maintenance variance is due to not hiring a full-time employee, but contracting out the service instead.
2) Fire Safety expenses are greater than budgeted, but necessary to pass state fire marshall inspections.
3) Insurance was estimated based upon information provided by ORM at the time of budget schedule preparation.
4) Replacement PCs were able to be obtained primarily for under $1,000 each, causing them to be coded to operating expense.
5) To date, the agency has not culminated the procurement process for the remaining items listed with no actuals.

LHFA Office Building Expenses
Draft Budget Report
Fiscal Year '12

	Draft FY12 Budget
Electrical - 6575	8,000
Plumbing - 6576	1,000
Heating and A/C - 6577	40,000
Carpet and Tile - 6578	10,000
Grounds - 6579	6,000
Janitorial Services - 6580	44,000
Janitorial Supplies - 6581	7,500
Exterminating - 6582	1,200
Elevator - 6583	7,000
Fire Safety - 6584	2,700
Misc. Contract Labor - 6585	750
Building Exterior - 6586	1,200
Building Interior - 6587	4,500
Windows and Glass - 6588	2,000
Lighting and Fixtures - 6589	2,200
Appliances - 6590	500
Locksmith - 6591	200
Water Treatment - 6592	900
Security	
Building Services Sub-Total	**139,650**
Utilities	**150,000**
Insurance (Ofc of Risk Mgmt)	**85,090**
Interest on Building Bonds	**110,729**
Total Building Operating Expenses	**485,469**
Capital Expenditures:	
Office and Computer Equipment	
Office Furniture & Equipment	-
Replacement of old PC's	15,000
Upgrade/replacement of older network equipment	15,000
Support Agency Software needs and improvements	30,000
Video Conferencing/Streaming of LHFA Board Meetings	
Emergency Power and Cooling	100,000
Transportation	
2 Vehicles	32,000
Total Capital Expenditures	**192,000**
Total Office Building Expenditures	**677,469**

Notes:

1) Emergency Power and Cooling enhancements are necessary to ensure critical equipment and data are preserved, and that the very valuable investments are protected. Agency procurement processes will be adhered to.

Asset Depreciation Schedule

From the period 6/30/2010 to 3/31/2011

Reporting Currency:

In Detail, Grouped by Category

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
Category : Furniture and Fixtures						
F&F000001	*LOVESEAT*	1,410.10	1,410.10	0.00	0.00	0.00
F&F000002	*SOFA*	1,811.30	1,811.30	0.00	0.00	0.00
F&F000003	*AUDIOVISUAL CART*	1,113.31	1,113.31	0.00	0.00	0.00
F&F000004	*MARKERBOARD WITH DOORS*	1,025.60	1,025.60	0.00	0.00	0.00
F&F000005	*CONFERENCE TABLE*	1,888.43	1,888.43	0.00	0.00	0.00
F&F000006	*CONFERENCE TABLE*	1,303.58	1,303.58	0.00	0.00	0.00
F&F000007	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000008	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000009	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000010	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000011	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000012	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000013	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000014	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000015	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000016	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000017	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000018	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000019	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000020	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000021	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000022	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000023	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000024	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000025	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000026	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000027	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000028	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00

NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
F&F000029	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000030	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000031	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000032	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000033	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000034	FREESTANDING MODULAR OPEN	1,981.20	1,981.20	0.00	0.00	0.00
F&F000035	FREESTANDING MODULAR OPEN	1,981.20	1,981.20	0.00	0.00	0.00
F&F000036	FREESTANDING MODULAR OPEN	1,981.20	1,981.20	0.00	0.00	0.00
F&F000037	FREESTANDING MODULAR OPEN	3,778.40	3,778.40	0.00	0.00	0.00
F&F000038	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000039	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000040	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000041	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000042	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000043	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000044	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000045	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000046	FREESTANDING MODULAR ENCLOSED	3,778.40	3,778.40	0.00	0.00	0.00
F&F000047	DESK, WOOD	1,792.80	1,792.80	0.00	0.00	0.00
F&F000048	DESK, WOOD	1,792.80	1,792.80	0.00	0.00	0.00
F&F000049	DESK, WOOD	1,792.80	1,792.80	0.00	0.00	0.00
F&F000050	DESK, WOOD	1,792.80	1,792.80	0.00	0.00	0.00
F&F000051	DESK, WOOD	1,792.80	1,792.80	0.00	0.00	0.00
F&F000052	DESK, WOOD	1,792.80	1,792.80	0.00	0.00	0.00
F&F000053	DESK, WOOD	1,792.80	1,792.80	0.00	0.00	0.00
F&F000054	FREESTANDING MODULAR SECRETARIAL	4,100.00	4,100.00	0.00	0.00	0.00
F&F000055	FREESTANDING MODULAR SECRETARIAL	5,103.90	5,103.90	0.00	0.00	0.00
F&F000056	FREESTANDING MODULAR SECRETARIAL	5,103.90	5,103.90	0.00	0.00	0.00
F&F000057	FREESTANDING MODULAR SECRETARIAL	5,103.90	5,103.90	0.00	0.00	0.00
F&F000058	FREESTANDING MODULAR SECRETARIAL	5,103.90	5,103.90	0.00	0.00	0.00
F&F000059	FREESTANDING MODULAR SECRETARIAL	4,209.20	4,209.20	0.00	0.00	0.00
F&F000060	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000061	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000062	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000063	FREESTANDING MODULAR OPEN	5,066.80	5,066.80	0.00	0.00	0.00
F&F000064	FREESTANDING MODULAR OPEN	5,066.80	5,066.80	0.00	0.00	0.00

 NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
F&F000065	*FREESTANDING MODULAR OPEN*	5,066.80	5,066.80	0.00	0.00	0.00
F&F000066	*FREESTANDING MODULAR OPEN*	5,066.80	5,066.80	0.00	0.00	0.00
F&F000067	*FREESTANDING MODULAR OPEN*	5,066.80	5,066.80	0.00	0.00	0.00
F&F000068	*FREESTANDING MODULAR OPEN*	5,066.80	5,066.80	0.00	0.00	0.00
F&F000069	*FREESTANDING MODULAR OPEN*	5,066.80	5,066.80	0.00	0.00	0.00
F&F000070	*FREESTANDING MODULAR OPEN*	5,066.80	5,066.80	0.00	0.00	0.00
F&F000071	*FREESTANDING MODULAR OPEN*	5,066.80	5,066.80	0.00	0.00	0.00
F&F000072	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000073	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000074	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000075	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000076	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000077	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000078	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000079	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000080	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000081	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000082	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000083	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000084	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000085	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000086	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000087	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000088	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000089	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000090	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000091	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000092	*FREESTANDING MODULAR OPEN*	4,100.00	4,100.00	0.00	0.00	0.00
F&F000093	*FREESTANDING MODULAR OPEN*	1,981.20	1,981.20	0.00	0.00	0.00
F&F000094	*FREESTANDING MODULAR OPEN*	2,192.80	2,192.80	0.00	0.00	0.00
F&F000095	*FREESTANDING MODULAR OPEN*	2,192.80	2,192.80	0.00	0.00	0.00
F&F000096	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000097	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000098	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000099	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00
F&F000100	*FREESTANDING MODULAR OPEN*	4,652.33	4,652.33	0.00	0.00	0.00

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
F&F000101	FREESTANDING MODULAR OPEN	4,652.33	4,652.33	0.00	0.00	0.00
F&F000102	CONFERENCE TABLE	1,646.10	1,646.10	0.00	0.00	0.00
F&F000103	SOFA	1,943.00	1,943.00	0.00	0.00	0.00
F&F000104	SOFA	1,868.00	1,868.00	0.00	0.00	0.00
F&F000105	Training Room Equipment	24,234.00	24,234.00	0.00	0.00	0.00
F&F000106	3RD FLOOR FURNITURE - Modular desks	120,221.03	120,221.03	0.00	0.00	0.00
F&F000109	Tac Thermostats	21,028.00	14,018.80	3,154.23	350.47	3,854.97
F&F000111	LAWRENCE EXECUTIVE CHAIR- BLACK LEATHER	1,127.47	1,127.47	0.00	0.00	0.00
F&F000112	Komby Folding Table	13,320.00	11,866.26	1,453.74	0.00	0.00
F&F000113	FM200 System	19,006.40	10,770.18	2,850.93	316.77	5,385.29
F&F000114	Upgrade to fire system panels	4,751.60	2,644.95	712.71	79.19	1,393.94
F&F000115	Remote annunciator panel	4,200.00	1,890.00	630.00	70.00	1,680.00
F&F000116	Lighting Control	16,634.00	6,792.14	2,495.07	277.23	7,346.79
F&F000117	LHFA VAV Changeout	26,806.00	10,945.86	4,020.93	446.77	11,839.21
F&F000118	Desk	1,099.80	276.13	164.97	18.33	658.70
F&F000119	Credenza	1,013.84	4.51	152.10	16.90	857.23
F&F000120	Credenza	1,013.84	4.51	152.10	16.90	857.23
	Subtotal :	**659,019.28**	**609,359.14**	**15,786.78**	**1,592.56**	**33,873.36**
Category : Building						
BLD000001	BASIC ARCHITECTURAL SERVICES 5/1/98 - 8/12/98	8,375.00	1,657.75	157.05	17.45	6,560.20
BLD000002	BASIC ARCHITECTURAL SERVICES 8/13/98 - 9/14/98	12,482.50	2,470.95	234.09	26.01	9,777.46
BLD000003	BASIC ARCHITECTURAL SERVICES 9/15/98 - 12/31/98	6,005.00	1,188.45	112.59	12.51	4,703.96
BLD000004	BASIC ARCHITECTURAL SERVICES DESIGN PHASE 1/1/99 -	5,090.00	1,007.00	95.40	10.60	3,987.60
BLD000005	BASIC ARCHITECTURAL SERVICES DESIGN PHASE 4/1/99 -	1,020.00	202.35	19.17	2.13	798.48
BLD000006	BASIC ARCHITECTURAL SERVICES DESIGN PHASE 7/1/99 -	11,291.00	2,234.40	211.68	23.52	8,844.92
BLD000007	BASIC ARCHITECTURAL SERVICES DESIGN PHASE 8/1/99 -	7,180.00	1,421.20	134.64	14.96	5,624.16
BLD000008	BASIC ARCHITECTURAL SERVICES DESIGN PHASE 9/1/99 -	3,992.50	790.40	74.88	8.32	3,127.22
BLD000009	BASIC ARCHITECTURAL SERVICES DESIGN PHASE 9/9/99 -	16,592.00	3,284.15	311.13	34.57	12,996.72
BLD000010	BASIC ARCHITECTURAL SERVICES DESIGN PHASE 15% BASE	41,216.20	8,157.65	772.83	85.87	32,285.72
BLD000011	BASIC ARCHITECTURAL SERVICES SITE PLAN REVIEW	14,354.45	2,841.45	269.19	29.91	11,243.81
BLD000012	SERVICES FOR ENGINEERING RECOMMENDATIONS	4,000.00	791.35	74.97	8.33	3,133.68

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
BLD000013	BASIC ARCHITECTURAL SERVICES CONSTRUCTION	30,618.00	6,060.05	574.11	63.79	23,983.84
BLD000014	BASIC ARCHITECTURAL SERVICES CONSTRUCTION	45,929.00	9,090.55	861.21	95.69	35,977.24
BLD000015	BASIC ARCHITECTURAL SERVICES CONSTRUCTION	15,309.00	3,029.55	287.01	31.89	11,992.44
BLD000016	BASIC ARCHITECTURAL SERVICES CONSTRUCTION	15,310.00	3,030.50	287.10	31.90	11,992.40
BLD000017	BASIC ARCHITECTURAL SERVICES DESIGN DEVELOPMENT	9,922.50	1,963.65	186.03	20.67	7,772.82
BLD000018	BASIC ARCHITECTURAL SERVICES DESIGN DEVELOPMENT	4,608.75	912.00	86.40	9.60	3,610.35
BLD000019	BASIC ARCHITECTURAL SERVICES DESIGN DEVELOPMENT	4,295.00	850.25	80.55	8.95	3,364.20
BLD000020	BASIC ARCHITECTURAL SERVICES DESIGN DEVELOPMENT	5,085.00	1,006.05	95.31	10.59	3,983.64
BLD000021	LESLIE HERPIN INTERIOR DESIGN SERVICES	6,246.22	1,235.95	117.09	13.01	4,893.18
BLD000022	BASIC ARCHITECTURAL SERVICES DESIGN DEVELOPMENT	14,313.75	2,832.90	268.38	29.82	11,212.47
BLD000023	BASIC ARCHITECTURAL SERVICES CONSTRUCTION	37,310.00	7,384.35	699.57	77.73	29,226.08
BLD000024	BASIC ARCHITECTURAL SERVICES CONSTRUCTION	38,971.00	7,713.05	730.71	81.19	30,527.24
BLD000025	BASIC ARCHITECTURAL SERVICES 4/1/01 - 4/30/01	2,870.55	568.10	53.82	5.98	2,248.63
BLD000026	BASIC ARCHITECTURAL SERVICES 5/3/01 - 5/31/01	1,753.50	346.75	32.85	3.65	1,373.90
BLD000027	BASIC ARCHITECTURAL SERVICES 6/1/01 - 6/30/01	2,870.55	568.10	53.82	5.98	2,248.63
BLD000028	BASIC ARCHITECTURAL SERVICES AS OF 8/1/00	45,103.13	8,927.15	845.73	93.97	35,330.25
BLD000029	BASIC ARCHITECTURAL SERVICES 1/5/01 - 1/31/01	1,620.50	321.10	30.42	3.38	1,268.98
BLD000030	BASIC ARCHITECTURAL SERVICES BIDDING NEGOTIATION	24,919.00	4,932.40	467.28	51.92	19,519.32
BLD000031	BASIC ARCHITECTURAL SERVICES	112,255.80	22,217.65	2,104.83	233.87	87,933.32
BLD000032	BASIC ARCHITECTURAL SERVICES 3/1/01 - 3/31/01	1,913.70	379.05	35.91	3.99	1,498.74
BLD000033	CONSTRUCTION OF FACILITIES	7,046.30	1,394.60	132.12	14.68	5,519.58
BLD000034	SOIL AND CONCRETE TESTING	4,291.25	849.30	80.46	8.94	3,361.49
BLD000035	CONSTRUCTION	191,366.10	37,874.60	3,588.12	398.68	149,903.38
BLD000036	SOIL AND CONCRETE TESTING	2,300.00	455.05	43.11	4.79	1,801.84
BLD000037	CONSTRUCTION	478,903.55	94,783.40	8,979.48	997.72	375,140.67
BLD000038	CONSTRUCTION	153,854.40	30,450.35	2,884.77	320.53	120,519.28
BLD000039	BASIC ARCHITECTURAL SERVICES 5/1/01 - 5/31/01	7,654.80	1,515.25	143.55	15.95	5,996.00
BLD000040	CONSTRUCTION 7/31/01	228,904.40	45,303.60	4,291.92	476.88	179,308.88
BLD000041	BASIC ARCHITECTURAL SERVICES 7/1/01 - 7/31/01	3,827.40	757.15	71.73	7.97	2,998.52
BLD000042	BASIC ARCHITECTURAL SERVICES 8/1/01 - 8/31/01	6,697.95	1,325.25	125.55	13.95	5,247.15
BLD000043	CONSTRUCTION 8/25/01	423,987.85	83,914.45	7,949.79	883.31	332,123.61
BLD000044	BASIC ARCHITECTURAL SERVICES	8,611.65	1,704.30	161.46	17.94	6,745.89
BLD000045	CONSTRUCTION 9/30/01	558,388.15	110,514.45	10,469.79	1,163.31	437,403.91
BLD000046	ADDITIONAL ARCHITECTURAL SERVICES FURNISHINGS	4,025.00	797.05	75.51	8.39	3,152.44
BLD000047	CONSTRUCTION 10/31/01	424,826.41	84,080.70	7,965.54	885.06	332,780.17
BLD000048	BASIC ARCHITECTURAL SERVICES 10/1/01 - 10/31/01	6,698.40	1,326.20	125.64	13.96	5,246.56

 NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
BLD000049	CONSTRUCTION 11/30/01	539,419.88	106,760.05	10,114.11	1,123.79	422,545.72
BLD000050	BASIC ARCHITECTURAL SERVICES 11/1/01 - 11/30/01	8,611.20	1,704.30	161.46	17.94	6,745.44
BLD000051	BASIC ARCHITECTURAL SERVICES 8/1/01 - 11/30/01	2,216.25	438.90	41.58	4.62	1,735.77
BLD000052	ADDITIONAL ARCHITECTURAL SERVICES FURNISHINGS	9,487.50	1,878.15	177.93	19.77	7,431.42
BLD000053	ADDITIONAL ARCHITECTURAL SERVICES 12/1/01 - 12/31/01	3,190.00	631.75	59.85	6.65	2,498.40
BLD000054	ARCHITECTURAL SERVICES 12/1/01 - 12/31/01	4,784.25	947.15	89.73	9.97	3,747.37
BLD000055	CONSTRUCTION 12/31/01	293,640.25	58,116.25	5,505.75	611.75	230,018.25
BLD000056	CONSTRUCTION 1/31/02	326,694.55	64,657.95	6,125.49	680.61	255,911.11
BLD000057	BASIC ARCHITECTURAL SERVICES 1/1/02 - 1/31/02	5,741.00	1,136.20	107.64	11.96	4,497.16
BLD000058	BASIC ARCHITECTURAL SERVICES 1/1/02 - 1/31/02	3,180.75	629.85	59.67	6.63	2,491.23
BLD000059	CONSTRUCTION 2/28/02	414,820.05	82,099.95	7,777.89	864.21	324,942.21
BLD000060	ADDITIONAL ARCHITECTURAL SERVICES FURNISHINGS	9,849.75	1,949.40	184.68	20.52	7,715.67
BLD000061	BASIC ARCHITECTURAL SERVICES 2/1/02 - 2/28/02	11,930.00	2,360.75	223.65	24.85	9,345.60
BLD000062	BASIC ARCHITECTURAL SERVICES 2/1/02 - 2/28/02	6,698.00	1,325.25	125.55	13.95	5,247.20
BLD000063	BASIC ARCHITECTURAL SERVICES 3/1/02 - 3/31/02	7,655.00	1,515.25	143.55	15.95	5,996.20
BLD000064	CONSTRUCTION 3/31/02	478,497.48	94,702.65	8,971.83	996.87	374,823.00
BLD000065	BASIC ARCHITECTURAL SERVICES 3/01/02 - 3/31/02	1,726.76	342.00	32.40	3.60	1,352.36
BLD000066	BASIC ARCHITECTURAL SERVICES 4/1/02 - 4/30/02	1,584.20	313.50	29.70	3.30	1,241.00
BLD000067	CONSTRUCTION 4/30/02	407,400.07	80,631.25	7,638.75	848.75	319,130.07
BLD000068	BASIC ARCHITECTURAL SERVICES 4/1/02 - 4/30/02	10,000.20	1,978.85	187.47	20.83	7,833.88
BLD000069	BASIC ARCHITECTURAL SERVICES 5/1/02 - 5/31/02	4,784.00	947.15	89.73	9.97	3,747.12
BLD000070	BASIC ARCHITECTURAL SERVICES 5/1/02 - 5/31/02	7,693.00	1,522.85	144.27	16.03	6,025.88
BLD000071	ADDITIONAL ARCHITECTURAL SERVICES FURNISHINGS	14,656.09	2,900.35	274.77	30.53	11,480.97
BLD000072	CONSTRUCTION 5/31/02	584,330.91	115,649.20	10,956.24	1,217.36	457,725.47
BLD000073	CONSTRUCTION 6/26/02	331,379.00	65,585.15	6,213.33	690.37	259,580.52
BLD000074	BASIC ARCHITECTURAL SERVICES 6/1/02 - 6/30/02	2,519.75	498.75	47.25	5.25	1,973.75
BLD000075	BASIC ARCHITECTURAL SERVICES 6/1/02 - 6/30/02	8,575.81	1,697.65	160.83	17.87	6,717.33
BLD000076	BASIC ARCHITECTURAL SERVICES 7/1/02 - 7/31/02	1,832.00	362.90	34.38	3.82	1,434.72
BLD000077	BASIC ARCHITECTURAL SERVICES 7/1/02 - 7/31/02	7,314.00	1,447.80	137.16	15.24	5,729.04
BLD000078	CONSTRUCTION 7/31/02	322,565.85	63,689.21	6,048.09	672.01	252,828.55
BLD000079	WIRING IN NEW BUILDING	29,710.00	5,852.54	557.10	61.90	23,300.36
BLD000080	BASIC ARCHITECTURAL SERVICES	1,099.00	214.34	20.61	2.29	864.05
BLD000081	CONSTRUCTION 8/31/02	132,188.69	25,486.90	2,478.51	275.39	104,223.28
BLD000082	CONSTRUCTION 10/8/02	95,654.55	18,423.76	1,793.52	199.28	75,437.27
BLD000083	ADDITIONAL ARCHITECTURAL SERVICES 5/1/02 - 8/31/02	1,820.00	350.76	34.11	3.79	1,435.13
BLD000084	CABLES & JACKS	6,557.00	1,261.13	122.94	13.66	5,172.93

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
BLD000085	*SERVICES FOR PURCHASE OF BUILDING*	1,500.00	297.35	28.17	3.13	1,174.48
BLD000086	*SERVICES FOR PURCHASE OF BUILDING*	4,398.25	870.20	82.44	9.16	3,445.61
BLD000087	*ADDITIONAL SERVICES - FURNISHINGS*	1,060.00	200.54	19.89	2.21	839.57
BLD000088	*FURNISHINGS PACKAGE SERVICES 8/1/02 - 9/30/02*	7,048.24	1,332.10	132.12	14.68	5,584.02
BLD000089	*CONSTRUCTION*	51,059.75	9,546.74	957.42	106.38	40,555.59
BLD000090	*CANGELOSI WARD (RETAINAGE)*	313,088.00	61,965.65	5,870.43	652.27	245,251.92
BLD000091	*YEAR END ADJUSTMENT-CAPITALIZE INTEREST ON BLDG*	231,766.51	45,870.75	4,345.65	482.85	181,550.11
BLD000092	*ADDITIONAL SERVICES - 3RD FLOOR LAYOUT*	3,700.00	555.12	69.39	7.71	3,075.49
BLD000093	*ADDITIONAL SERVICES - 3RD FLOOR LAYOUT*	9,475.00	1,421.28	177.66	19.74	7,876.06
BLD000094	*Architectural Services 10/01/03 - 10/31/03*	6,802.50	1,020.24	127.53	14.17	5,654.73
BLD000095	*3rd floor build-out*	1,275.00	191.52	23.94	2.66	1,059.54
BLD000096	*3rd floor build-out*	24,489.49	3,673.44	459.18	51.02	20,356.87
BLD000097	*FI> Architect Services-3rd*	3,825.00	573.84	71.73	7.97	3,179.43
BLD000098	*Retainage for 3rd floor build out*	2,721.06	408.24	51.03	5.67	2,261.79
BLD000099	*3RD Floor Buildout*	174,119.40	26,118.00	3,264.75	362.75	144,736.65
BLD000100	*3RD Floor Buildout*	6,601.60	990.00	123.75	13.75	5,487.85
BLD000101	*3RD FL Addt'l Buildout - application 4*	12,821.40	1,937.37	240.39	26.71	10,643.64
BLD000102	*Retainage 3rd fl buildout - application 4*	1,424.60	215.42	26.73	2.97	1,182.45
BLD000103	*3rd FL Addt'l Buildout - Application 5*	2,325.60	349.52	43.65	4.85	1,932.43
BLD000104	*Retainage 3rd Fl buildout - application 5*	258.40	38.92	4.86	0.54	214.62
BLD000105	*3rd FL addt'l buildout - architectural*	1,275.00	191.61	23.94	2.66	1,059.45
BLD000106	*3rd FL Buildout - addt'l architectural*	687.50	103.01	12.87	1.43	571.62
BLD000107	*Construction*	12,178.00	382.19	228.33	25.37	11,567.48
	Subtotal :	**8,037,914.30**	**1,574,724.84**	**150,711.66**	**16,745.74**	**6,312,477.80**
Category : Cars						
CAR000005	*2003 CHEVROLET MALIBU*	11,658.00	11,658.00	0.00	0.00	0.00
CAR000006	*2003 CHEVROLET MALIBU*	11,658.00	11,658.00	0.00	0.00	0.00
CAR000007	*2003 CHEVROLET MALIBU*	11,658.00	11,658.00	0.00	0.00	0.00
CAR000008	*2003 CHEVROLET MALIBU*	11,658.00	11,658.00	0.00	0.00	0.00
CAR000011	*2007 Ford Taurus Sedan*	12,011.00	9,414.92	1,801.62	200.18	794.46
CAR000012	*2007 Ford Taurus Sedan*	12,011.00	9,414.92	1,801.62	200.18	794.46

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
CAR000014	*2008 CHEVY UPLANDER*	17,566.00	8,915.32	2,634.93	292.77	6,015.75
CAR000015	*2008 DODGE CHARGER*	14,354.00	5,525.44	2,153.07	239.23	6,675.49
CAR000016	*2008 DODGE CHARGER*	14,354.00	5,525.44	2,153.07	239.23	6,675.49
CAR00013	*2008 Dodge Magnum*	15,852.00	8,514.06	2,377.80	264.20	4,960.14
	Subtotal :	**132,780.00**	**93,942.10**	**12,922.11**	**1,435.79**	**25,915.79**
Category : Land						
LND000001	*LAND*	1,000.00	0.00	0.00	0.00	1,000.00
LND000002	*LEGAL SERVICES FOR PURCHAE OF LAND*	3,567.00	0.00	0.00	0.00	3,567.00
LND000003	*PURCHASE OF QUAIL ACRES*	697,016.90	0.00	0.00	0.00	697,016.90
LND000004	*LEGAL SERVICES FOR PURCHASE OF LAND*	2,338.44	0.00	0.00	0.00	2,338.44
LND000005	*LEGAL SERVICES FOR PURCHASE OF LAND*	3,660.00	0.00	0.00	0.00	3,660.00
LND000006	*LEGAL SERVICES FOR PURCHASE OF LAND*	1,819.00	0.00	0.00	0.00	1,819.00
LND000007	*LEGAL FEES WITH QUAIL RUN*	1,905.00	0.00	0.00	0.00	1,905.00
LND000008	*QUAIL RUN PROPERTY TAX*	1,031.56	0.00	0.00	0.00	1,031.56
	Subtotal :	**712,337.90**	**0.00**	**0.00**	**0.00**	**712,337.90**
Category : Other						
OTH000001	*DK 2020 SD STRATA 20KEY SPEAKERPHONE SUPPLIES*	11,762.00	11,762.00	0.00	0.00	0.00
OTH000002	*TELEPHONE*	6,053.00	6,053.00	0.00	0.00	0.00
OTH000003	*SET OF GREEN BOOKS*	2,937.60	2,937.60	0.00	0.00	0.00
OTH000004	*TELEPHONE / VOICE PROCESSING SYSTEM*	13,195.89	13,195.89	0.00	0.00	0.00
OTH000005	*FIREPROOF FILE CABINET*	1,300.00	1,300.00	0.00	0.00	0.00
OTH000006	*FIREPROOF FILE CABINET*	1,306.00	1,306.00	0.00	0.00	0.00
OTH000008	*VOICE EXPRESS*	6,995.00	6,995.00	0.00	0.00	0.00
OTH000009	*PROJECTOR*	3,999.99	3,999.99	0.00	0.00	0.00
OTH000011	*OZTEC 800I PAPER SHREDDER*	1,487.00	1,487.00	0.00	0.00	0.00
OTH000012	*XYRON 2500 LAMINATOR*	1,468.00	1,468.00	0.00	0.00	0.00

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
OTH000013	DIGITAL REPORTER DECK	5,990.95	5,990.95	0.00	0.00	0.00
OTH000015	POSTAGE MACHINE	14,946.00	14,946.00	0.00	0.00	0.00
OTH000017	SAVIN 3720 FAX MACHINE	1,395.00	1,395.00	0.00	0.00	0.00
OTH000018	TELEPHONE SYSTEM	11,518.00	11,518.00	0.00	0.00	0.00
OTH000020	SAVIN DIGITAL COPIER/PRINTER	15,000.00	15,000.00	0.00	0.00	0.00
OTH000021	SAVIN DIGITAL COPIER	15,000.00	15,000.00	0.00	0.00	0.00
OTH000022	SAVIN 4045SP MFP COPIER	13,993.00	13,993.00	0.00	0.00	0.00
OTH000023	SAVIN 3720 FAX	1,500.00	1,500.00	0.00	0.00	0.00
OTH000024	VOICEMAIL UPGRADE	4,110.00	4,110.00	0.00	0.00	0.00
OTH000025	VOICEMAIL UPGRADE	1,828.00	1,828.00	0.00	0.00	0.00
OTH000030	SAVIN 3720 FAX	1,395.00	1,395.00	0.00	0.00	0.00
OTH000050	Hoshizaki Ice Maker	1,510.00	1,171.62	226.53	25.17	111.85
OTH000051	portable building with ramp	2,595.00	1,781.62	389.25	43.25	424.13
OTH000052	Gravely Lawn Mower	6,989.41	4,771.93	1,048.41	116.49	1,169.07
OTH000053	Hoshizaki Ice Machine	2,022.00	366.35	303.30	33.70	1,352.35
OTH000054	Hoshizaki Ice Machine	2,022.00	366.35	303.30	33.70	1,352.35
OTH000055	Fireproof File Cabinet	1,110.37	183.25	166.59	18.51	760.53
OTH000056	Condensation Pump	2,329.05	335.60	349.38	38.82	1,644.07
OTH000057	CallExpress Upgrade for Emergency Notification System	10,515.00	1,532.02	1,577.25	175.25	7,405.73
OTH000058	4000 Series Automatic Mixer Card (Mic System)	1,845.00	178.55	276.75	30.75	1,389.70
OTH000059	Electronic Lock for Emergency Supplies Closet	3,550.00	289.51	532.53	59.17	2,727.96
OTH000060	Installation of controls to turn off lights left on	1,027.00	47.36	154.08	17.12	825.56
OTH000061	Emergency Generator Monitoring - E-mail Alerts	3,553.00	122.39	532.98	59.22	2,897.63
OTH000062	Lighting Modification - added motion detectors	3,451.00	118.87	517.68	57.52	2,814.45
OTH000063	Lighting Modification - Controls to turn off lights left on	2,550.00	79.52	382.50	42.50	2,087.98
OTH000064	Water Cooler Replacement - 2nd Floor	1,524.25	0.00	136.83	25.40	1,387.42
	Subtotal :	**183,773.51**	**148,525.37**	**6,897.36**	**776.57**	**28,350.78**
Category : Improvements						
IMP000001	LANDSCAPE INSTALLATION	49,390.00	19,516.86	1,852.11	205.79	28,021.03
IMP000002	LANDSCAPE INSTALLATION	28,500.00	11,099.17	1,068.75	118.75	16,332.08
IMP000003	LANDSCAPE INSTALLATION	43,376.55	16,893.16	1,626.66	180.74	24,856.73

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
IMP000004	*LANDSCAPE INSTALLATION*	8,173.00	2,962.35	306.45	34.05	4,904.20
IMP000005	*LANDSCAPE INSTALLATION*	1,500.00	543.75	56.25	6.25	900.00
	Subtotal :	**130,939.55**	**51,015.29**	**4,910.22**	**545.58**	**75,014.04**
Category : Computer Hardware						
CPU001007	*DELL 1400 OPTIPLEX 400 MINITOWER*	1,154.00	1,154.00	0.00	0.00	0.00
CPU001012	*DELL OPTIPLEX GX260D MINITOWER*	1,158.00	1,158.00	0.00	0.00	0.00
CPU001013	*DELL OPTIPLEX GX260D MINITOWER*	1,158.00	1,158.00	0.00	0.00	0.00
CPU001014	*DELL OPTIPLEX GX260D MINITOWER*	1,158.00	1,158.00	0.00	0.00	0.00
CPU001015	*DELL OPTIPLEX GX260D DESKTOP*	1,099.00	1,099.00	0.00	0.00	0.00
CPU001016	*DELL OPTIPLEX GX260D DESKTOP*	1,099.00	1,099.00	0.00	0.00	0.00
CPU001017	*DELL OPTIPLEX GX260D DESKTOP*	1,099.00	1,099.00	0.00	0.00	0.00
CPU001018	*DELL OPTIPLEX GX260D DESKTOP*	1,099.00	1,099.00	0.00	0.00	0.00
CPU001019	*DELL OPTIPLEX GX260D DESKTOP*	1,309.00	1,309.00	0.00	0.00	0.00
CPU001020	*DELL OPTIPLEX GX260D DESKTOP*	1,309.00	1,309.00	0.00	0.00	0.00
CPU001021	*DELL OPTIPLEX GX260D DESKTOP*	1,309.00	1,309.00	0.00	0.00	0.00
CPU001022	*DELL OPTIPLEX GX260D DESKTOP*	1,309.00	1,309.00	0.00	0.00	0.00
CPU001023	*DELL OPTIPLEX GX260D DESKTOP*	1,309.00	1,309.00	0.00	0.00	0.00
CPU001024	*DELL OPTIPLEX GX260D DESKTOP*	1,309.00	1,309.00	0.00	0.00	0.00
CPU001025	*DELL POWEREDGE*	1,259.00	1,259.00	0.00	0.00	0.00
CPU001026	*DELL OPTIPLEX GX270 DESKTOP*	1,048.68	1,048.68	0.00	0.00	0.00
CPU001028	*DELL OPTIPLEX GX270 DESKTOP*	1,048.68	1,048.68	0.00	0.00	0.00
CPU001030	*DELL OPTIPLEX GX270 DESKTOP*	1,048.68	1,048.68	0.00	0.00	0.00
CPU001035	*DELL OPTIPLEX GX270 DESKTOP*	1,055.00	1,055.00	0.00	0.00	0.00
CPU001036	*OPTIPLEX GX270 - MINITOWER*	1,032.73	1,032.73	0.00	0.00	0.00
CPU001040	*OPTIPLEX GX270 - MINITOWER*	1,032.73	1,032.73	0.00	0.00	0.00
CPU001042	*Dell Latitude D620*	1,969.14	1,527.72	295.38	32.82	146.04
CPU001043	*Dell Latitude D620*	1,969.14	1,527.72	295.38	32.82	146.04
CPU001044	*Dell Latitude D620*	2,066.95	1,485.94	310.05	34.45	270.96
CPU001045	*Dell Latitude D620*	2,066.95	1,485.94	310.05	34.45	270.96
CPU001046	*Dell Latitude D620*	2,066.95	1,485.94	310.05	34.45	270.96
CPU001047	*Dell Latitude D630*	1,375.90	812.17	206.37	22.93	357.36

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
CPU001048	Dell Latitude D630	1,375.90	812.17	206.37	22.93	357.36
CPU001049	Dell Latitude D630	1,375.90	812.17	206.37	22.93	357.36
CPU001051	Dell Latitude D630	1,864.40	968.35	279.63	31.07	616.42
CPU001052	Dell Latitude D630	1,864.40	968.35	279.63	31.07	616.42
CPU001053	Dell Latitude D630	1,864.40	968.35	279.63	31.07	616.42
CPU001054	Dell Latitude D630	1,864.40	968.35	279.63	31.07	616.42
CPU001055	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001056	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001057	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001058	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001059	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001061	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001062	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001063	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001064	DELL OPTIPLEX 755	1,062.00	441.91	159.30	17.70	460.79
CPU001112	DELL 1400 OPTIPLEX GX400 MINITOWER	1,154.00	1,154.00	0.00	0.00	0.00
CPU001116	DELL 1500 OPTIPLEX GX400 MINITOWER	1,153.00	1,153.00	0.00	0.00	0.00
CPU001122	DELL 1500 OPTIPLEX GX400 MINITOWER	1,340.00	1,340.00	0.00	0.00	0.00
CPU001123	DELL OPTIPLEX GX260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001124	CPT PENTIUM	1,925.00	1,925.00	0.00	0.00	0.00
CPU001127	CPT PENTIUM WORKSTATION	1,925.00	1,925.00	0.00	0.00	0.00
CPU001131	DELL 1500 OPTIPLEX 400 MINITOWER	1,233.00	1,233.00	0.00	0.00	0.00
CPU001135	COMPUTER COMPAQ DESKPRO	2,306.00	2,306.00	0.00	0.00	0.00
CPU001143	INTEL P3-500 MINI TOWER	1,749.00	1,749.00	0.00	0.00	0.00
CPU001145	DELL 1400 OPTIPLEX GX400 MINITOWER	1,425.00	1,425.00	0.00	0.00	0.00
CPU001147	INTEL P3-500 MINI TOWER	1,749.00	1,749.00	0.00	0.00	0.00
CPU001148	INTEL P3-500 MINI TOWER	1,912.96	1,912.96	0.00	0.00	0.00
CPU001158	CPT PENTIUM WORKSTATION	1,925.00	1,925.00	0.00	0.00	0.00
CPU001159	IBM PC	2,340.00	2,340.00	0.00	0.00	0.00
CPU001164	CPT PENTIUM PROCESSOR	1,713.18	1,713.18	0.00	0.00	0.00
CPU001168	DELL OPTIPLEX GL260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001169	DELL OPTIPLEX GL260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001171	DELL OPTIPLEX GL260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001173	DELL OPTIPLEX GL260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001174	DELL OPTIPLEX GL260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001175	DELL OPTIPLEX GL260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00

 NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
CPU001179	DELL OPTIPLEX GL260D DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001180	FLAT PANEL MONITOR / KEYBOARD / MOUSE	1,397.00	1,397.00	0.00	0.00	0.00
CPU001181	FLAT PANEL MONITOR / KEYBOARD / MOUSE	1,397.00	1,397.00	0.00	0.00	0.00
CPU001190	DELL OPTIPLEX GX260D COMPUTER DESKTOP	1,284.00	1,284.00	0.00	0.00	0.00
CPU001191	DELL OPTIPLEX GX260D COMPUTER DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001192	DELL OPTIPLEX GX260D COMPUTER DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001193	DELL OPTIPLEX GX260D COMPUTER DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001194	DELL OPTIPLEX GX260D COMPUTER DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001195	DELL OPTIPLEX GX260D COMPUTER DESKTOP	1,291.00	1,291.00	0.00	0.00	0.00
CPU001196	DELL OPTIPLEX GX260D DESKTOP	1,393.00	1,393.00	0.00	0.00	0.00
CPU001197	DELL OPTIPLEX GX260D DESKTOP	1,393.00	1,393.00	0.00	0.00	0.00
CPU001198	DELL OPTIPLEX GX260D DESKTOP	1,393.00	1,393.00	0.00	0.00	0.00
CPU001199	DELL OPTIPLEX GX260D DESKTOP	1,393.00	1,393.00	0.00	0.00	0.00
CPU001200	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001201	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001202	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001203	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001204	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001205	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001206	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001207	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001208	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001209	DELL OPTIPLEX 170L	1,094.19	1,040.29	53.90	0.00	0.00
CPU001210	Dell Precision M4300	3,555.07	1,978.95	533.25	59.25	1,042.87
CPU002000	EPSON DFX8500	1,300.00	1,300.00	0.00	0.00	0.00
CPU002005	HP LASERJET 4000	1,199.00	1,199.00	0.00	0.00	0.00
CPU002008	HP LASERJET 5SI SHEET FEEDER	1,828.00	1,828.00	0.00	0.00	0.00
CPU002011	HP LASERJET 4000T	1,339.00	1,339.00	0.00	0.00	0.00
CPU002013	HP LASERJET 4200TN PRINTER	1,862.26	1,862.26	0.00	0.00	0.00
CPU002015	HP LASERJET 4200TN PRINTER	1,862.26	1,862.26	0.00	0.00	0.00
CPU002016	AUTOMATIC DOCUMENT SHEET FEEDER	1,895.00	1,895.00	0.00	0.00	0.00
CPU002017	HP LASERJET 4200tn PRINTER	1,592.00	1,592.00	0.00	0.00	0.00
CPU002018	HP LJ 4200 TN PRINTER	1,750.00	1,750.00	0.00	0.00	0.00
CPU002019	HP LJ 4300TN PRINTER	2,125.00	2,125.00	0.00	0.00	0.00
CPU002020	HP LJ 4300TN PRINTER	2,125.00	2,125.00	0.00	0.00	0.00
CPU002021	RICOH IS330DC COLOR SCANNER (IS420)	3,800.00	3,800.00	0.00	0.00	0.00

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
CPU002022	HP DesignJet 500	2,343.77	1,249.92	351.54	39.06	742.31
CPU002023	HP LJ 4350 TN PRINTER AND ENVELOPE FEEDER	2,250.00	1,190.00	337.50	37.50	722.50
CPU003000	HP PROCURVE 24PT 10/100 SWITCH MODULE	1,069.59	1,069.59	0.00	0.00	0.00
CPU003001	HP PROCURVE 24PT 10/100 SWITCH MODULE	1,069.59	1,069.59	0.00	0.00	0.00
CPU003002	HP PROCURVE 24PT 10/100 SWITCH MODULE	1,069.58	1,069.58	0.00	0.00	0.00
CPU003003	HP PROCURVE SWITCH 24 PT MODULE	1,056.00	1,056.00	0.00	0.00	0.00
CPU003005	APC NETSHELTER VX BASE ENCL 42 UX BLK	1,158.00	1,158.00	0.00	0.00	0.00
CPU003006	APC NETSHELTER VX BASE ENCL 42 UX BLK	1,158.00	1,158.00	0.00	0.00	0.00
CPU003008	HP PROCURVE 8SLOT 4108GL SWITCH	1,540.00	1,540.00	0.00	0.00	0.00
CPU003010	NORTEL BAYSTACK 450 24PT 10/100 SWITCH	1,369.86	1,369.86	0.00	0.00	0.00
CPU003011	BAYSTACK 350 NETWORK SWITCH	3,019.38	3,019.38	0.00	0.00	0.00
CPU003013	BAY NETWORKS 450T-HD 24PT SWITCH	2,157.00	2,157.00	0.00	0.00	0.00
CPU003014	BAY NETWORKS 450T-HD 24PT SWITCH	2,157.00	2,157.00	0.00	0.00	0.00
CPU003015	KOFAX ADRENALINE 1700V PCI VIDEO ACCEL BOARD	2,779.83	2,779.83	0.00	0.00	0.00
CPU003017	MYLEX EXTREMERAID 2000 4 CHANNEL CONTROLLER	1,403.96	1,403.96	0.00	0.00	0.00
CPU003018	MYLEX EXTREMERAID 2000 4 CHANNEL CONTOLLER	1,397.45	1,397.45	0.00	0.00	0.00
CPU003019	CPT STM24 ETERNET STACKABLE HUB	3,268.00	3,268.00	0.00	0.00	0.00
CPU003020	4MB SIMMS	1,704.38	1,704.38	0.00	0.00	0.00
CPU003021	9.0 GB F/W SCSI-2 HARD DRIVE	2,704.38	2,704.38	0.00	0.00	0.00
CPU003022	SEAGATE ST39173 W 9.1 GB U/W	2,253.00	2,253.00	0.00	0.00	0.00
CPU003023	DACPU-1-OM ULTRA SCSI 1 CH CNT	1,046.00	1,046.00	0.00	0.00	0.00
CPU003024	2000 COMPLIANT HARDWARE PLATFORM	7,118.90	7,118.90	0.00	0.00	0.00
CPU003025	NOVELL BORDER FIREWALL SERVES 3 ADDITIVES	2,799.00	2,799.00	0.00	0.00	0.00
CPU003026	SONY SDT 9000 INT 24GB DAT DRIVE	1,370.00	1,370.00	0.00	0.00	0.00
CPU003027	UPGRADE AND ADD LICENSE	5,254.97	5,254.97	0.00	0.00	0.00
CPU003028	Disk Storage Case	1,414.00	1,414.00	0.00	0.00	0.00
CPU003029	HP Procurve Switch 4148GL	1,699.00	1,699.00	0.00	0.00	0.00
CPU003031	HP Procurve switch	3,325.95	2,576.60	498.87	55.43	250.48
CPU003032	HP PROCURVE SWITCH	1,600.00	1,226.82	240.03	26.67	133.15
CPU003033	CISCO 1PT DS3 ATM NETWORK	4,336.10	3,324.42	650.43	72.27	361.25
CPU003034	CISCO 2821 With AC Power 2 GE	2,747.10	2,106.34	412.11	45.79	228.65
CPU003035	APC Smartups 2200 VA - battery backup	1,052.93	686.71	157.95	17.55	208.27
CPU003036	CISCO 1pt T3 E3 network module	6,160.00	3,993.86	924.03	102.67	1,242.11
CPU003038	Liberty RGB7C/22 Seven Conductor plus three MHR	2,644.59	1,702.96	396.72	44.08	544.91
CPU003039	ASC CX-1408V 8 Channel Amplifier	1,251.19	805.51	187.65	20.85	258.03
CPU003040	Ado Design Prem CS3 WIN BX	3,610.99	2,170.49	541.62	60.18	898.88

 NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
CPU003041	IED Circuit board	1,195.66	717.48	179.37	19.93	298.81
CPU003042	DELL EMC DAE2P DISK ARRAY ENCLOSURE	16,684.95	9,176.64	2,502.72	278.08	5,005.59
CPU003043	HP Procurve Switch	2,539.00	1,261.41	380.88	42.32	896.71
CPU003044	APC SMART UPS RM	1,215.10	567.00	182.25	20.25	465.85
CPU003045	ML6010 Control Module	16,337.39	4,463.61	2,450.61	272.29	9,423.17
CPU003046	HP Procurve Switch	2,240.00	622.61	335.97	37.33	1,281.42
CPU003047	300GB 10K RPM Fibre Channel HotPlug Hard Drive	2,399.20	419.25	359.91	39.99	1,620.04
CPU003048	300GB 10K RPM Fibre Channel HotPlug Hard Drive	2,399.20	419.25	359.91	39.99	1,620.04
CPU003049	300GB 10K RPM Fibre Channel HotPlug Hard Drive	2,399.20	419.25	359.91	39.99	1,620.04
CPU003050	300GB 10K RPM Fibre Channel HotPlug Hard Drive	2,399.20	419.25	359.91	39.99	1,620.04
CPU003051	300GB 10K RPM Fibre Channel HotPlug Hard Drive	2,399.20	419.25	359.91	39.99	1,620.04
CPU003052	APC SmartUPS Rack Mount and Remote Monitor Cards	1,399.55	221.63	209.97	23.33	967.95
CPU003053	APC SmartUPS Rack Mount and Remote Monitor Cards	2,077.04	331.20	311.58	34.62	1,434.26
CPU003054	Hardware Module	16,480.00	2,618.52	2,472.03	274.67	11,389.45
CPU003055	PowerEdge R610 with Chassis for up to Six 2.5 inch Hard Drives	3,736.60	29.06	560.52	62.28	3,147.02
CPU003056	PowerEdge R610 with Chassis for up to Six 2.5 inch Hard Drives	3,736.60	29.06	560.52	62.28	3,147.02
CPU003057	PowerEdge R610 with Chassis for up to Six 2.5 inch Hard Drives	4,048.65	53.98	607.32	67.48	3,387.35
CPU005000	COMPUTER NETWORK FILE SERVER	30,208.00	30,208.00	0.00	0.00	0.00
CPU005001	FILE SERVER WITH SOFTWARE	25,022.00	25,022.00	0.00	0.00	0.00
CPU005002	FILE SERVER	1,824.38	1,824.38	0.00	0.00	0.00
CPU005003	CPT PIII ASTOR II SERVER	5,105.00	5,105.00	0.00	0.00	0.00
CPU005004	ACCOUNTING SERVER	8,329.00	8,329.00	0.00	0.00	0.00
CPU005005	CPT SERVER P3/744	61,996.89	61,996.89	0.00	0.00	0.00
CPU005006	CDW-G INTEL SERVER MOTHERBOARD	3,390.67	3,390.67	0.00	0.00	0.00
CPU005007	CDW-G MS MBG W2000 SERVER	1,341.99	1,341.99	0.00	0.00	0.00
CPU005008	CDW-G INTEL SERVER CHASSIS & 256MB	1,340.45	1,340.45	0.00	0.00	0.00
CPU005010	650 PENTIUM III HDS SERVER	0.00	0.00	0.00	0.00	0.00
CPU005011	POWEREDGE 1650 PENTIUM III HDS SERVER	0.00	0.00	0.00	0.00	0.00
CPU005012	POWEREDGE 1650 PENTIUM III HDS SERVER	5,679.00	5,679.00	0.00	0.00	0.00
CPU005013	POWEREDGE 1650 PENTIUM III HDS SERVER	5,679.00	5,679.00	0.00	0.00	0.00
CPU005014	MICROSOFT NT SERVER V4.0 W/25 CAL	1,578.00	1,578.00	0.00	0.00	0.00
CPU005015	MICROSOFT SQL SERVER V7.0 W/25 CAL	3,965.00	3,965.00	0.00	0.00	0.00
CPU005016	BACKUP SERVER	8,145.00	8,145.00	0.00	0.00	0.00
CPU005017	POWEREDGE 1650 PENTIUM III SERVER	5,744.00	5,744.00	0.00	0.00	0.00
CPU005018	POWEREDGE 1650 PENTIUM III SERVER	5,744.00	5,744.00	0.00	0.00	0.00
CPU005019	MS MGB ISA SERVER	1,150.00	1,150.00	0.00	0.00	0.00

 NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
CPU005020	DELL POWEREDGE 1750 SERVER	9,042.09	9,042.09	0.00	0.00	0.00
CPU005021	PowerEdge 2650, 2.4GHz Server	3,454.12	3,454.12	0.00	0.00	0.00
CPU005026	MS MBG MSDN ENT SA SERVER	1,550.00	1,550.00	0.00	0.00	0.00
CPU005027	MS MBG TECHNET PLUS 1 SRV	1,620.00	1,620.00	0.00	0.00	0.00
CPU005029	PowerVault 220S, 3U, SCSI Storage Enclosure	4,105.60	4,105.60	0.00	0.00	0.00
CPU005030	PowerVault 110T, LTO-2, 200/400GB	2,621.50	2,621.50	0.00	0.00	0.00
CPU005031	PowerEdge 2850 Intel Xenon Server	4,719.90	4,486.81	233.09	0.00	0.00
CPU005032	PowerEdge 2850 Intel Xenon Server	4,719.90	4,486.81	233.09	0.00	0.00
CPU005033	Dell Xeon Processor	5,166.20	3,549.54	774.90	86.10	841.76
CPU005034	Dell Xeon Processor	5,166.20	3,549.54	774.90	86.10	841.76
CPU005035	Dell Xeon Processor	4,399.00	2,478.21	659.88	73.32	1,260.91
CPU005036	Dell Xeon Processor	4,399.00	2,478.21	659.88	73.32	1,260.91
CPU005037	Dell Xeon Processor	4,399.00	2,478.21	659.88	73.32	1,260.91
CPU005038	Dell Xeon Processor	4,399.00	2,478.21	659.88	73.32	1,260.91
CPU005039	Dell Xeon Processor	4,399.00	2,478.21	659.88	73.32	1,260.91
CPU008002	DELL INSPIRON 4100	1,689.00	1,689.00	0.00	0.00	0.00
CPU008005	DELL INSPIRON 4100 COMPUTER NOTEBOOK	1,995.00	1,995.00	0.00	0.00	0.00
CPU008015	DELL LATITUDE C840 COMPUTER NOTEBOOK	2,121.00	2,121.00	0.00	0.00	0.00
CPU008017	DELL LATITUDE C640 COMPUTER NOTEBOOK	1,774.00	1,774.00	0.00	0.00	0.00
CPU008019	DELL LATITUDE D600 COMPUTER NOTEBOOK	1,677.62	1,677.62	0.00	0.00	0.00
CPU008020	DELL LATITUDE D600 COMPUTER NOTEBOOK	1,677.62	1,677.62	0.00	0.00	0.00
CPU008024	DELL Latitude D600, Pentium M 725	1,560.97	1,560.97	0.00	0.00	0.00
CPU008025	DELL Latitude D610, Pentium 760	1,839.92	1,787.76	52.16	0.00	0.00
CPU008026	DELL Latitude D610, Pentium 760	1,839.92	1,787.76	52.16	0.00	0.00
CPU008027	24U, SHORT RACK FOR DELL POWEREDGE	1,736.10	1,446.06	260.46	28.94	29.58
CPU008028	SERVER - POWEREDGE 2850	5,470.20	4,576.73	820.53	91.17	72.94
CPU008029	SERVER - POWEREDGE 1850	4,952.00	4,097.22	742.77	82.53	112.01
CPU008030	WATCHGUARD FIREBOX X700	2,124.14	1,765.43	318.60	35.40	40.11
CPU008031	Dell EMC CX300 SAN Disk Processor	53,202.36	43,677.62	7,980.39	886.71	1,544.35
CPU008032	Dell Latitude D620	2,066.95	1,421.34	310.05	34.45	335.56
CPU008033	Dell Latitude D620	2,066.95	1,421.34	310.05	34.45	335.56
CPU008034	Dell Latitude D620	2,066.95	1,421.34	310.05	34.45	335.56
CPU008035	DELL LATITUDE D630	1,511.78	629.16	226.80	25.20	655.82
CPU008036	DELL LATITUDE D630	1,511.78	629.16	226.80	25.20	655.82
CPU008037	DELL LATITUDE D630	1,511.78	629.16	226.80	25.20	655.82
CPU008038	DELL LATITUDE D630	1,511.78	629.16	226.80	25.20	655.82

 NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
CPU008039	*DELL LATITUDE D630*	1,511.78	629.16	226.80	25.20	655.82
CPU008040	*Computer Server Alarms*	2,355.00	598.88	353.25	39.25	1,402.87
CPU008041	*Dell Latitude D630*	1,071.83	243.71	160.74	17.86	667.38
CPU008042	*Dell Latitude D630*	1,071.83	243.71	160.74	17.86	667.38
CPU008044	*Dell Latitude D630*	1,071.83	243.71	160.74	17.86	667.38
CPU008045	*Dell Latitude D630*	1,071.83	243.71	160.74	17.86	667.38
CPU008046	*Dell Latitude D630*	1,071.83	243.71	160.74	17.86	667.38
CPU008047	*PS400 Desktop Document Camera*	1,743.00	0.00	171.49	29.05	1,571.51
	Subtotal :	**658,469.23**	**531,765.80**	**41,951.27**	**4,547.97**	**84,752.16**
Category : Computer Software						
SOF000004	*SECURE SITE PRO WEBSITE LICENSE*	1,595.00	1,595.00	0.00	0.00	0.00
SOF000005	*AP, WIN, LANPAC*	1,195.00	1,195.00	0.00	0.00	0.00
SOF000006	*AP, WIN, LANPAC*	1,195.00	1,195.00	0.00	0.00	0.00
SOF000007	*AP, WIN, LANPAC*	1,195.00	1,195.00	0.00	0.00	0.00
SOF000008	*SQLUP FOR LAN-CONNECTED SERVERS*	2,450.00	2,450.00	0.00	0.00	0.00
SOF000009	*SQLUP FOR LAN-CONNECTED SERVERS*	2,450.00	2,450.00	0.00	0.00	0.00
SOF000010	*MS Cluster Fail-over configuration*	1,250.00	1,250.00	0.00	0.00	0.00
SOF000011	*FIXED ASSET MODULE*	1,600.00	1,600.00	0.00	0.00	0.00
SOF000012	*SINGLE FAMILY MANAGEMENT SOFTWARE LICENSE FEE*	18,750.00	18,750.00	0.00	0.00	0.00
SOF000013	*SECTION 8 CONTRACT ADMIN. SOFTWARE LICENSE FEE*	16,750.00	16,750.00	0.00	0.00	0.00
SOF000014	*LOAN SERVICE SOFTWARE LICENSE FEE*	17,500.00	17,500.00	0.00	0.00	0.00
SOF000015	*HOUSING PROJECT PORTFOLIO SOFTWARE LICENSE FEE*	16,750.00	16,750.00	0.00	0.00	0.00
SOF000016	*GRANT MANAGEMENT SOFTWARE LICENSE FEE*	17,500.00	17,500.00	0.00	0.00	0.00
SOF000017	*SECTION 8 SOFTWARE LICENSE*	16,750.00	16,750.00	0.00	0.00	0.00
SOF000018	*GRANT MANAGEMENT SOFTWARE LICENSE FEE*	17,500.00	17,500.00	0.00	0.00	0.00
SOF000019	*LHFA TRACKING SYSTEM*	49,337.50	49,337.50	0.00	0.00	0.00
SOF000021	*SINGLE FAMILY LOAN COMPLIANCE ENHANCEMENTS*	3,420.00	3,420.00	0.00	0.00	0.00
SOF000022	*SINGLE FAMILY LOAN COMPLIANCE ENHANCEMENTS*	3,420.00	3,420.00	0.00	0.00	0.00
SOF000023	*MULTIFAMILY LIHTC PROGRAM*	10,455.00	10,455.00	0.00	0.00	0.00
SOF000024	*MULTIFAMILY LIHTC PROGRAM*	10,455.00	10,455.00	0.00	0.00	0.00
SOF000027	*SINGLE FAMILY SOFTWARE LICENSE FEE*	18,750.00	18,750.00	0.00	0.00	0.00

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
SOF000028	HOUSING PROJECT PORTFOLIO FINAL SOFTWARE LICENSE	16,750.00	16,750.00	0.00	0.00	0.00
SOF000029	WEB COMPLIANCE MANAGEMENT SYSTEM	17,500.00	17,500.00	0.00	0.00	0.00
SOF000030	PAYROLL MODULE	2,500.00	2,500.00	0.00	0.00	0.00
SOF000031	LASERFICHE UPGRADE	12,653.00	12,653.00	0.00	0.00	0.00
SOF000032	MS GSA W2003 SRV ENT	1,595.00	1,595.00	0.00	0.00	0.00
SOF000033	MS GSA W2003 SRV ENT	1,595.00	1,595.00	0.00	0.00	0.00
SOF000034	MS GSA EXCH SRV ENT 2003	2,732.00	2,732.00	0.00	0.00	0.00
SOF000035	MS GSA EXCH SRV ENT 2003	2,732.00	2,732.00	0.00	0.00	0.00
SOF000036	Faxserve 7.0 win upgrade 10 user	1,017.00	1,017.00	0.00	0.00	0.00
SOF000040	MS MBG SQL SRVR 2000 ENT ED w/Media	5,851.58	5,851.58	0.00	0.00	0.00
SOF000041	MS MBG SQL SRVR 2000 ENT ED w/Media (2nd)	5,851.58	5,851.58	0.00	0.00	0.00
SOF000042	MS MBG W2003 SRV ENT w/Media	2,017.00	2,017.00	0.00	0.00	0.00
SOF000043	MS MBG W2003 SRV ENT w/Media (2nd)	2,017.00	2,017.00	0.00	0.00	0.00
SOF000044	MS GSA W2003 SRV ENT	3,197.64	3,197.64	0.00	0.00	0.00
SOF000045	MS GSA W2003 SRV ENT	3,197.64	3,197.64	0.00	0.00	0.00
SOF000046	Channel Digital Recording Software	2,353.62	2,353.62	0.00	0.00	0.00
SOF000047	Powervault 132T Fiber Channel Bridge	2,135.55	2,135.55	0.00	0.00	0.00
SOF000048	FTR Reporter 2.1	2,353.62	2,353.62	0.00	0.00	0.00
SOF000050	Windows SAN software	1,470.00	1,470.00	0.00	0.00	0.00
SOF000051	LanPac MSSQL 5 user Licenses	24,390.00	24,390.00	0.00	0.00	0.00
SOF000052	TRACS Reconciliation Module License Fee	7,500.00	7,500.00	0.00	0.00	0.00
SOF000053	Intelligent Software Agency License Fee	7,500.00	7,500.00	0.00	0.00	0.00
SOF000054	MS GSA W2003 Server Software	1,598.82	1,598.82	0.00	0.00	0.00
SOF000055	MS GSA W2003 Server Software	1,598.82	1,598.82	0.00	0.00	0.00
SOF000056	MS GSA SQL Server Software 2005	5,813.49	5,813.49	0.00	0.00	0.00
SOF000057	MS GSA W2003 SRV ENT R2	1,598.82	1,598.82	0.00	0.00	0.00
SOF000058	MS GSA W2003 SRV ENT R2	1,598.82	1,598.82	0.00	0.00	0.00
SOF000059	MYSQL ENT DB 1Y Silver Tools SUP	1,800.00	1,800.00	0.00	0.00	0.00
SOF000060	Adobe Design Prem CS3 WIN BX	1,807.99	1,765.69	42.30	0.00	0.00
SOF000061	AutoCAD 2008	2,834.06	2,676.35	157.71	0.00	0.00
SOF000062	MS GSA W2003 Server Enterprise	1,598.82	1,483.20	115.62	0.00	0.00
SOF000063	MS GSA W2003 Server Enterprise	1,598.82	1,483.20	115.62	0.00	0.00
SOF000064	MS GSA W2003 Server Enterprise	1,598.82	1,483.20	115.62	0.00	0.00
SOF000065	MS GSA W2003 Server Enterprise	1,598.82	1,483.20	115.62	0.00	0.00
SOF000066	MS GSA W2003 Server Enterprise	1,598.82	1,483.20	115.62	0.00	0.00
SOF000067	Winpak 2005 software package	7,308.00	6,698.33	609.67	0.00	0.00

 NB:Report lists IAS16-Component assets!

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
SOF000068	2nd license fee for McWeb Mortgage Compliance Software	37,500.00	37,025.87	474.13	0.00	0.00
SOF000069	MS GSA Exchange Server 2007	2,739.41	2,442.15	297.26	0.00	0.00
SOF000070	Funds Management Compliance License Fee	12,500.00	10,695.62	1,804.38	0.00	0.00
SOF000071	MS EXCHG AGT EM3	1,029.00	869.40	159.60	0.00	0.00
SOF000072	MS EXCHG AGT EM3	1,029.00	869.40	159.60	0.00	0.00
SOF000073	Linux software	1,189.00	980.08	208.92	0.00	0.00
SOF000074	MS EXCHG AGT EM3	1,029.00	869.40	159.60	0.00	0.00
SOF000075	CCH TEAMMATE SOFTWARE	13,500.00	10,123.99	3,374.66	374.96	1.35
SOF000076	Single Family License Fees	34,500.00	18,206.51	8,624.14	958.24	7,669.35
SOF000077	MS SLD SQL SERVER ENT 2008	6,855.81	3,574.98	1,713.79	190.42	1,567.04
SOF000078	MS SLD SQL SERVER ENT 2008	6,855.81	3,574.98	1,713.79	190.42	1,567.04
SOF000079	Red Had Linux Premium	1,060.33	519.66	265.06	29.45	275.61
SOF000080	Red Had Linux Premium	1,060.33	519.66	265.06	29.45	275.61
SOF000081	Watchguard Software License	1,427.42	621.56	356.82	39.65	449.04
SOF000082	ArcView Concurrent Use Upgrade	10,000.00	2,758.98	2,499.75	277.75	4,741.27
SOF000083	Single Family HDS Software Development	6,750.00	1,724.83	1,687.33	187.48	3,337.84
SOF000084	EBS Software	6,485.00	1,621.09	1,621.09	180.13	3,242.82
SOF000085	PrintBoss Software	1,000.00	249.98	249.97	27.77	500.05
SOF000086	Offsite Tape Encryption Software	2,449.99	248.05	612.43	68.04	1,589.51
	Subtotal :	**542,089.75**	**489,238.06**	**27,635.16**	**2,553.76**	**25,216.53**
Category : Office Machines & Equipment						
OME000001	Clearone AP-10 telephone Hybrid	1,235.75	1,235.75	0.00	0.00	0.00
OME000002	CallXpress VoiceMail SMDI	2,010.00	2,010.00	0.00	0.00	0.00
OME000003	Auto Call Distribution Software	2,940.00	2,615.97	324.03	0.00	0.00
OME000004	Savin 3725e Plan Paper Fax System	2,395.00	1,992.13	359.28	39.92	43.59
OME000005	Nomadic Trade Show Booth	11,090.20	10,233.97	856.23	0.00	0.00
OME000006	MIC MIXER	1,495.95	1,115.42	224.37	24.93	156.16
OME000007	MIC MIXER	1,495.95	1,115.42	224.37	24.93	156.16
OME000008	HP Laserjet Printer	1,000.00	750.15	150.03	16.67	99.82
OME000009	Savix Fax 3820	1,095.00	787.18	164.25	18.25	143.57
OME000010	CTX Trunks Interface (23 channels)	4,650.00	3,237.50	697.50	77.50	715.00

Asset Depreciation Schedule

Asset Number	Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
OME000011	*Call Accounting phone software*	2,340.00	1,629.19	351.00	39.00	359.81
OME000012	*IPT Station Card*	1,160.00	807.50	173.97	19.33	178.53
OME000013	*HP Laserjet 3005x Printer*	1,297.50	891.71	194.67	21.63	211.12
OME000014	*HP Laserjet 3005x Printer*	1,297.50	891.71	194.67	21.63	211.12
OME000015	*HP laserjet 4240n Printer*	3,070.00	2,109.52	460.53	51.17	499.95
OME000016	*Savin Fax 3820*	1,095.00	746.95	164.25	18.25	183.80
OME000017	*Sharp XG-C68X 3600 Lumen Projector*	2,707.20	1,840.25	406.08	45.12	460.87
OME000018	*1 Extron IN1508 Scaling Switcher for Projector*	1,447.76	988.47	217.17	24.13	242.12
OME000019	*Savin Fax 3820*	1,095.00	718.82	164.25	18.25	211.93
OME000020	*Check Scanner*	1,900.00	1,219.29	285.03	31.67	395.68
OME000021	*Professional Conferencing System*	3,853.33	2,339.75	577.98	64.22	935.60
OME000022	*Extron DVS Video Scalier*	2,813.33	1,708.36	422.01	46.89	682.96
OME000023	*Multiple Channel Matrix Processor Mixer*	1,200.00	728.67	180.00	20.00	291.33
OME000024	*Multiple Channel Matrix Processor Mixer*	1,200.00	728.67	180.00	20.00	291.33
OME000025	*Fargo Printer*	2,175.00	1,395.63	326.25	36.25	453.12
OME000026	*Digital Recording System*	4,593.17	2,503.93	688.95	76.55	1,400.29
OME000027	*HP 4350TN Copier/Printer*	2,695.00	1,302.68	404.28	44.92	988.04
OME000028	*HP 4350TN Copier/Printer*	2,695.00	1,302.68	404.28	44.92	988.04
OME000029	*Savin 816 MF Copying System*	2,195.00	1,060.82	329.22	36.58	804.96
OME000030	*Destroyit 4002 6MM Shredder*	1,200.00	295.33	180.00	20.00	724.67
OME000031	*Savin 3820 Fax*	1,095.00	239.60	164.25	18.25	691.15
OME000032	*Laserjet P3005N Printer*	1,348.00	314.58	202.23	22.47	831.19
OME000033	*Savin 8055SP Copier*	16,576.89	3,252.98	2,486.52	276.28	10,837.39
OME000034	*Savin C3535 Copier*	8,271.85	1,623.19	1,240.74	137.86	5,407.92
OME000035	*HP Laserjet 4250n Printer*	1,050.00	146.21	157.50	17.50	746.29
OME000036	*HP Laserjet 4250n Printer*	1,050.00	146.21	157.50	17.50	746.29
OME000037	*2560 Digital Copier*	3,900.00	585.00	585.00	65.00	2,730.00
OME000038	*Savin 9060SP Copier*	10,987.00	1,541.75	1,648.08	183.12	7,797.17
OME000039	*Ricoh IS760D Scanner*	5,300.00	743.68	794.97	88.33	3,761.35
OME000040	*SPC312DN Color Printer*	1,295.00	166.17	194.22	21.58	934.61
OME000041	*3820 Fax Machine*	1,090.00	88.90	163.53	18.17	837.57
OME000042	*HP LJ 4250n Printer*	1,050.00	20.89	157.50	17.50	871.61
OME000043	*Savin 8065SP Digital Imaging System*	6,695.00	0.00	813.46	111.58	5,881.54
	Subtotal :	**131,146.38**	**59,172.58**	**18,070.15**	**1,897.85**	**53,903.65**

Asset Depreciation Schedule

Asset Number Description	Book Basis	Book Prior Years	Book This Year	Book This Period	Book Value
GRAND TOTAL :	**11,188,469.90**	**3,557,743.18**	**278,884.71**	**30,095.82**	**7,351,842.01**

 NB:Report lists IAS16-Component assets!

Accounts and Contracts for Services

Account	B. R. Water - Utility Pymt. Procg.	Water(Potable, Irrigation & Fire)	10,454.40	
Account	Benny's Car Wash & Exp. Lube	Car wash & Inspections	4,378.32	
Contract	Billy Heroman's Flowerland	Inside plants	3,462.00	
State contract	C.E.D.	Replacement bulbs	1,400.00	
Account	Chevron & Texaco Card Service	Gasoline	3,600.00	
Account	Entergy Services, Inc.	Electrical service	114,999.96	
Account	Exxon Mobile Payment Center	Gasoline	7,200.00	
Account	Gerry Lane Chevrolet	Vehicle maintenance	3,000.00	
Account	Hollingsworth Richard Ford	Vehicle maintenance	1,000.00	
Contract	Premier Pest Services	Pest control	999.96	
Account	Salsbury's Dodge City	Vehicle maintenance	1,000.00	
Contract	SWE, Inc.-Southwest Engineers	Chill water treatment	780.00	
Contract	Schindler Elevator Corporation	Elevator Maintenance	4,500.00	
Account	Shell Oil Company	Gasoline	4,200.00	
State contract	Staples - C.E.	Janitorial supplies	7,200.00	
State contract	Stuart C Irby Company	Lamp ballasts	1,100.00	
Account	Waste Management of B. R.	Solid waste removal	6,000.00	
Account	Winner's Circle Car Care Center	Vehicle maintenance	5,000.00	
Contract	Employment Development Serv.	Floor Care (s&w + Shampoo)	6,000.00	
Contract	Corporate Mechanical	PM Lieberts	2,892.00	
Contract	Pitney Bowes	Equipment rental	828.00	
Contract	Pitney Bowes	Postage	15,000.00	
Contract	Corporate Mechanical	PM Chillers	8,448.00	
Contract	Corporate Mechanical	Parts & labor on chillers (proposed)		28,000.00
Account	Louisiana Nursery	Replacement plants for landscape	600.00	
Contract	Facility Automation	PM building controls (fire,burglar,A\C)	18,498.96	
Contract	EDS	Janitorial services	60,693.60	
Contract	Power Clean	Bldg. exterior cleaning & striping	9,845.00	
Contract	EDS	Carpet & Tile shampoo, strip& wax	9,400.00	
State contract	Vendor as specified	Replacement vehicles (2)	30,000.00	

In addition to the items listed there are expenses for electricalwork, A/C repairs, etc., that are paid as required.

LHFA
Facilities Staff and Duties

Position	Name	Duties
Budget Accountant	Nicole Mack	Records capitalized assets in D-Bit (fixed asset software); Records computer hard drives and other items costing less than $1,000 in a spreadsheet named "Acquisitions #3"; Conducts an inventory by comparing the D-Bit and Acquisitions #3 Master Lists to the physical property; receives requests for disposal of property, completes "request for sale of property" form that is to be submitted to the State Surplus section of Louisiana Property Assistance Agency after it has been approved by the Budget Manager
Property Custodians:		
IT Director (Handles IT related equipment and Blackberries/cell phones)	Danny Veals	Conducts an inventory of these items and report to the Budget Manager
Building/Fleet Manager (Handles building furniture and automobiles)	Terry Holden	Conducts an inventory of these items and report to the Budget Manager
Program Specialist (Energy Assistance Program)	Darleen Okammor	Conducts an inventory of equipment physically located at contractor and sub-contractor agencies for their respective areas
Budget Manager	Kip Anderson	Evaluates discrepancies in inventory; reviews and approves "request for sale of property" form that is to be submitted to the State Surplus section of Louisiana Property Assistance Agency
General Fund Accountant Manager	Melissa Myers	Evaluates discrepancies in inventory
Assistant CFO	Jatis Harrington	Evaluates discrepancies in inventory
CFO	Rene' Landry	Evaluates discrepancies in inventory
Internal Audit Director	Collette Mathis	Determines necessary actions to be taken in the event inventory discrepancies are not resolved and/ or misplaced inventory can not be located
Assistant President	Alesia Wilkins - Braxton	Determines necessary actions to be taken in the event inventory discrepancies are not resolved and/ or misplaced inventory can not be located

LHFA
Debt Service Payment Schedule
Office Building - 2415 Quail Drive

Payment Date	Principal	Interest	Total
June 1, 2011		59,593.75	59,593.75
December 1, 2011	725,000.00	59,593.75	784,593.75
June 1, 2012		52,343.75	52,343.75
December 1, 2012	740,000.00	52,343.75	792,343.75
June 1, 2013		41,243.75	41,243.75
December 1, 2013	765,000.00	41,243.75	806,243.75
June 1, 2014		33,593.75	33,593.75
December 1, 2014	790,000.00	33,593.75	823,593.75
June 1, 2015		24,706.25	24,706.25
December 1, 2015	810,000.00	24,706.25	834,706.25
June 1, 2016		13,568.75	13,568.75
December 1, 2016	835,000.00	13,568.75	848,568.75
	4,665,000.00	450,100.00	5,115,100.00

Note: The amounts through December 1, 2011 were paid as specified.

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
ARCCO Power Systems	0040559-00	Quarterly preventative maintenance on 80 KW generator set	Acct #LAHO02	20091106	690.00
ARCCO Power Systems	0040893-00	Recommended level 2 maintenance on 80 KW generator set	Recommended level 2 maintenance on 80 KW generator set	20091221	1,441.94
			Total for ARCCO Power Systems		2,131.94
Banc of America Leasing	070109	Lease #002-2257363-000-SAVIN C3535	Lease #002-2257363-000-SAVIN C3535	20090701	8,143.68
			Total for Banc of America Leasing		8,143.68
Bank of America	080509LACARTE	Don Seiser-Building Interior	Acct #4715292000054107	20090805	22.29
Bank of America	090509LACARTE	Don Seiser-Home Depot-Plumbing	Acct ending 4107	20090905	44.64
Bank of America	090509LACARTE	Don Seiser-Home Depot-Plumbing	Acct ending 4107	20090905	9.73
Bank of America	100509LACARTE	Don Seiser-Home Depot-Building Interior	Acct ending 4107	20091005	13.88
Bank of America	100509LACARTE	Don Seiser-Home Depot-Building Interior	Acct ending 4107	20091005	135.02
Bank of America	100509LACARTE	Don Seiser-Home Depot-Building Interior	Acct ending 4107	20091005	90.99
Bank of America	100509LACARTE	Don Seiser-Home Depot-Building Interior	Acct ending 4107	20091005	68.09
Bank of America	100509LACARTE-A	Don Seiser-K & D-Grounds	Acct ending 4107	20091005	16.32
Bank of America	100509LACARTE-B	Don Seiser-The Flag Company-Nylon Flag	Acct ending 4107	20091005	135.50
Bank of America	020510LACARTE-A	Paint	Acct ending 4107	20100205	75.87
Bank of America	030510LACARTE	Don Seiser-Plumbing	Acct ending 4107	20100305	3.98
Bank of America	040510LACARTE	Interior Building Supplies- Don Seiser	Acct Ending 4107	20100405	184.33
Bank of America	050510LACARTE	Don Seiser-Supplies for Building Supplies	Acct ending 4107	20100505	87.35
Bank of America	050510LACARTE-A	Don Seiser-Microwave	Acct ending 4107	20100505	104.96
Bank of America	060510LACARTE	Don Seiser-Bldg. Interior	Acct ending 4107	20100605	9.85
			Total for Bank of America		1,002.80
Billy Heroman's Flowerland, Inc.	253894/1	Monthly Landscape Maintenance	Monthly Landscape Maintenance	20090705	288.50
Billy Heroman's Flowerland, Inc.	258982/1	Monthly Landscape Maintenance	Monthly Landscape Maintenance	20090802	288.50
Billy Heroman's Flowerland, Inc.	265421/1	Monthly Landscape	Monthly Landscape	20090906	288.50
Billy Heroman's Flowerland, Inc.	271039/1	Monthly Landscape	Monthly Landscape	20091004	288.50
Billy Heroman's Flowerland, Inc.	277404/1	Monthly Landscape Maintenance	Monthly Landscape Maintenance	20091101	288.50
Billy Heroman's Flowerland, Inc.	284853/1	Monthly Landscape	Monthly Landscape	20091206	288.50
Billy Heroman's Flowerland, Inc.	292821/1	Monthly Landscape	Acct #P000154	20100103	288.50
Billy Heroman's Flowerland, Inc.	300377/1	Monthly Landscape Maintenance	Monthly Landscape Maintenance	20100207	288.50
Billy Heroman's Flowerland, Inc.	307990/1	Monthly Landscape-03/08/10	Monthly Landscape	20100307	288.50
Billy Heroman's Flowerland, Inc.	314318/1	Monthly Landscape	Monthly Landscape	20100404	288.50
Billy Heroman's Flowerland, Inc.	321175/1	Monthly Landscape-05/2010	Monthly Landscape-05/2010	20100502	288.50
Billy Heroman's Flowerland, Inc.	330675/1	Monthly Landscape - 06/2010	Monthly Landscape - 06/2010	20100606	288.50
			Total for Billy Heroman's Flowerland, Inc.		3,462.00
Brunson Safe & Lock Company, Inc	51816	Re-key vacated office	Re-key vacated office	20090930	66.50
Brunson Safe & Lock Company, Inc	52255	Service trip to key door and make extra keys for NSP office	Service trip to key door and make extra keys for NSP office	20091207	66.50
Brunson Safe & Lock Company, Inc	52837	Service trip for duplicate keys & rekey 1st floor office	Service trip for duplicate keys & rekey 1st floor office	20100202	75.00

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
			Total for Brunson Safe & Lock Company, Inc		208.00
CDW Government, Inc.	PVN2066	APC SmartUPS rack mount and remote monitor cards	Cust #5394262	20090805	2,077.04
CDW Government, Inc.	PXW9009	APC Smartups Special	Cust #5394262	20090818	1,399.55
			Total for CDW Government, Inc.		3,476.59
Chris G. Keating	122109	Surface clean & parking lot striping	Surface clean & parking lot striping	20091221	9,845.00
			Total for Chris G. Keating		9,845.00
Computer Specialist, Inc.	IN3186	EBS 40 User 3 supervisors	Cust #LOU300	20090930	6,485.00
Computer Specialist, Inc.	IN3186	PrintBoss Software	Cust #LOU300	20090930	1,000.00
			Total for Computer Specialist, Inc.		7,485.00
Consolidated Electrical Distributors, Inc.	0453-517603	Replacement lamps	Acct #42-56378	20091009	237.60
Consolidated Electrical Distributors, Inc.	0453-521143	Replacement lamps	Acct #42-56378	20100305	69.06
Consolidated Electrical Distributors, Inc.	0453-524453	T8 Med Bipin	Acct #42-56378	20100701	219.00
			Total for Consolidated Electrical Distributors, Inc.		525.66
Corporate Mechanical Contractors, Inc.	090701-065	Preventive Maintnenace	Work Order #090701-065	20090701	2,112.00
Corporate Mechanical Contractors, Inc.	090701-062	Monthly Maintenance Inspections	Work Order #090701-062	20090701	723.00
Corporate Mechanical Contractors, Inc.	090818-005	Liebert repair for 3rd floor server room	Work Order #090818-005	20090818	1,294.05
Corporate Mechanical Contractors, Inc.	090820-002	Repair AHU-1C for 1st floor exec area	Work Order #090820-002	20090820	3,074.48
Corporate Mechanical Contractors, Inc.	090827-006	Replaced failed condensation pump in 2nd floor computer room	Work Order #090827-006	20090827	2,329.05
Corporate Mechanical Contractors, Inc.	091001-053	Monthly Maintenance	Monthly Maintenance	20091001	723.00
Corporate Mechanical Contractors, Inc.	091001-054	Quarterly Inspections	Work Order #091001-054	20091001	2,112.00
Corporate Mechanical Contractors, Inc.	091109-002	Liebert repair for 3rd floor server room	Liebert repair for 3rd floor server room	20091109	248.00
Corporate Mechanical Contractors, Inc.	100104-126	Liebert repair for 2nd floor server room	Work Order #100104-126	20100104	248.00
Corporate Mechanical Contractors, Inc.	100104-065	Preventative Maintenance	Work Order #100104-065	20100106	2,112.00
Corporate Mechanical Contractors, Inc.	100104-064	Preventative Maintenance	Work Order #100104-064	20100106	723.00
Corporate Mechanical Contractors, Inc.	100125-008	Liebert repair for 2nd floor server room	Work Order #100125-008	20100125	414.19
Corporate Mechanical Contractors, Inc.	100401-133	Quarterly Maintenance	Work Order #100401-133	20100401	2,112.00
Corporate Mechanical Contractors, Inc.	100401-130	Monthly Inspections - 04/2010 - 06/2010	Work Order #100401-130	20100401	723.00
Corporate Mechanical Contractors, Inc.	100510-005	A/C Fire damper repairs-05/10, 05/19, 05/21/10	Work Order #100510-005	20100510	1,425.44
			Total for Corporate Mechanical Contractors, Inc.		20,373.21
Dell Marketing LP	XD9RC24P8	300gb drives fiber channel hotplug support storage area netw	Cust #001502495	20090730	11,996.00
Dell Marketing LP	XDNJ4T5M4	Offsite tape encryption software	Cust #001502495	20100224	2,449.99
Dell Marketing LP	XDTT63R24	Replacements for end of life website server	Cust #001502495	20100525	4,048.65
Dell Marketing LP	XDTWNT5X1	Replacements for end of life windows servers	Cust #001502495	20100526	7,473.20
			Total for Dell Marketing LP		25,967.84
Eagle Refrigeration	28011	Ice Machine	Work Order #105603	20090805	4,044.00

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
			Total for Eagle Refrigeration		4,044.00
Employment Development Services, Inc.	36250	Janitorial Services-07/2009	Janitorial Services-07/2009	20090710	6,254.53
Employment Development Services, Inc.	36634	Janitorial Services-08/2009	Janitorial Services-08/2009	20090810	6,254.53
Employment Development Services, Inc.	36982	Janitorial Services-09/2009	Janitorial Services-09/2009	20090911	6,254.53
Employment Development Services, Inc.	37056	September Adjustment-Janitorial Services-09/2009	September Adjustment-Janitorial Services-09/2009	20090916	(1,196.73)
Employment Development Services, Inc.	37056	August Adjustment-Janitorial Service-08/2009	September Adjustment-Janitorial Services-09/2009	20090916	(1,196.73)
Employment Development Services, Inc.	37056	July Adjustment-Janitorial Service-07/2009	September Adjustment-Janitorial Services-09/2009	20090916	(1,196.73)
Employment Development Services, Inc.	37372	Janitorial Services-10/2009	Janitorial Services-10/2009	20091013	5,057.80
Employment Development Services, Inc.	37625	Janitorial Service-11/2009	Janitorial Service-11/2009	20091111	5,057.80
Employment Development Services, Inc.	37837	Janitorial Service-12/2009	Janitorial Service-12/2009	20091210	5,057.80
Employment Development Services, Inc.	38131	Janitorial Services - 01/2010	Janitorial Services - 01/2010	20100111	5,057.80
Employment Development Services, Inc.	38437	Janitorial Services - 02/2010	Janitorial Services - 02/2010	20100209	5,057.80
Employment Development Services, Inc.	38802	Janitorial Service-03/2010	Janitorial Service-03/2010	20100315	5,057.80
Employment Development Services, Inc.	38958	Floor Care (S&W + Shampoo)	Floor Care (S&W + Shampoo)	20100331	4,664.69
Employment Development Services, Inc.	39061	Janitorial Services-04/2010	Janitorial Services-04/2010	20100413	5,057.80
Employment Development Services, Inc.	39451	Janitorial Services - 05/2010	Janitorial Services - 05/2010	20100512	5,057.80
Employment Development Services, Inc.	39759	Janitorial Services - 06/2010	Janitorial Services - 06/2010	20100610	5,057.80
			Total for Employment Development Services, Inc.		65,358.29
Entergy Services Inc.	215001732121	Electricity	Acct #33786401	20090707	5,628.27
Entergy Services Inc.	20002897575	Electricity & Gas	Acct #33786401	20090805	5,575.18
Entergy Services Inc.	25002276074	Electricity	Acct #33786401	20090903	6,047.65
Entergy Services Inc.	240001727882	Electricity	Acct #33786401	20091005	5,691.95
Entergy Services Inc.	15002441961	Electricity	Acct #33786401	20091104	4,917.92
Entergy Services Inc.	185002070136	Electricity	Acct #33786401	20091204	5,422.37
Entergy Services Inc.	95002219250	Electricity	Acct #33786401	20100107	6,671.02
Entergy Services Inc.	235001840452	Electricity	Acct #33786401	20100205	8,876.86
Entergy Services Inc.	155002223008	Electricity	Acct #33786401	20100308	10,076.35
Entergy Services Inc.	475001245769	Electricity	Acct #33786401	20100406	9,017.01
Entergy Services Inc.	545000964033	Electricity through 04/30/10	Acct #33786401	20100506	7,964.67
Entergy Services Inc.	535001038530	Electricity - 06/2010	Acct #33786401	20100607	7,890.98
Entergy Services Inc.	115002434869	Electricity-06/2010	Acct #33786401	20100707	8,230.48
			Total for Entergy Services Inc.		92,010.71
Environmental Systems Research Institute, Inc.	92047789	ArcView Concurrent Use Upgrade from ArcView Windows Single	Cust #369412	20090817	10,000.00
			Total for Environmental Systems Research Institute, Inc.		10,000.00
Facility Automation, Inc.	966880	Maintenance plan to inspect temperature, security access, an	Cust ID#LHF029	20091005	4,624.50
Facility Automation, Inc.	967115	Maintenance plan to inspect temperature, security access	Maintenance plan to inspect temperature, security access	20091215	4,624.50
Facility Automation, Inc.	967163	Electric lock for emergency supplies closet & spare electric	Cust ID#LHF032	20100113	3,550.00
Facility Automation, Inc.	967430	Control lights currently always on for 2nd and 3rd floors	Control lights currently always on for 2nd and 3rd floors	20100329	1,027.00

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
Facility Automation, Inc.	967457	Install light controls to turn off/on lights on 1st, 2nd,	Install light controls to turn off/on lights on 1st, 2nd,	20100413	2,550.00
Facility Automation, Inc.	967507	Maintenance plan to inspect temperature, security access	Maintenance plan to inspect temperature, security access	20100414	4,624.50
Facility Automation, Inc.	967471	Emergency Generator Monitoring	Emergency Generator Monitoring, Lighting Modifications	20100414	3,553.00
Facility Automation, Inc.	967471	Lighting Modifications	Emergency Generator Monitoring, Lighting Modifications	20100414	3,451.00
Facility Automation, Inc.	967779	Quarterly Maintenance-04/2010-06/2010	Quarterly Maintenance-04/2010-06/2010	20100713	4,624.50
			Total for Facility Automation, Inc.		32,629.00
Gulf Coast Office Products	AR16709	Savin 8060sp copier	Order #SO3453	20090828	10,987.00
Gulf Coast Office Products	AR16711	Ricoh IS760D Scanner	Order #SO3454	20090828	5,300.00
Gulf Coast Office Products	AR19153	Replace copier in supply room & add scanning capacity	Acct #LH01	20090922	3,900.00
Gulf Coast Office Products	AR22815	SAVIN SPC 312 Full Color Laser	Acct #LH01	20091030	1,295.00
Gulf Coast Office Products	AR31033	Replacement fax for 1st floor	Acct #LH01	20100120	1,090.00
			Total for Gulf Coast Office Products		22,572.00
Housing and Development Software	LHFA-0908-5	Technical support & software development	Technical support & software development	20090817	6,750.00
			Total for Housing and Development Software		6,750.00
Johnnie Ray Fletcher	7732	Cleaning of office furniture	Cleaning of office furniture	20091120	1,968.25
			Total for Johnnie Ray Fletcher		1,968.25
Louisiana Division of Administration	12659	LHFA Building	ORM Insurance Premiums	20090701	87,278.00
			Total for Louisiana Division of Administration		87,278.00
Louisiana Nursery Outlet	617226	Flowers for fall planting	Cust #3291	20091012	254.85
			Total for Louisiana Nursery Outlet		254.85
Premier Pest Services	712186	Pest Control Service	Pest Control Service	20090705	80.00
Premier Pest Services	8702058	Pest Control Service	Pest Control Service	20090805	80.00
Premier Pest Services	090109	Bag Talstor	Bag Talstor	20090901	45.00
Premier Pest Services	912135	Pest Control Service	Pest Control Service	20090905	80.00
Premier Pest Services	10012029	Monthly Pest Control	Monthly Pest Control	20091005	80.00
Premier Pest Services	11012354	Monthly Pest Control	Monthly Pest Control	20091105	80.00
Premier Pest Services	12202160	Monthly Pest Control	Monthly Pest Control	20091205	80.00
Premier Pest Services	12057	Monthly Pest Control	Monthly Pest Control	20100111	80.00
Premier Pest Services	212368	Monthly Pest Control	Monthly Pest Control	20100204	80.00
Premier Pest Services	212490	2010 Liquid Termite Renewal	2010 Liquid Termite Renewal	20100222	280.00
Premier Pest Services	320102399	Monthly Pest Control-03/02/10	Monthly Pest Control	20100304	80.00
Premier Pest Services	4201045	Monthly Pest Control	Monthly Pest Control	20100404	80.00
Premier Pest Services	5201350	Monthly Pest Control-05/2010	Monthly Pest Control-05/2010	20100504	80.00
Premier Pest Services	6201582	Pest Control - 06/2010	Pest Control - 06/2010	20100604	80.00
			Total for Premier Pest Services		1,285.00

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
Red Stick Insulation Co, Inc.	864939	Office Insulation	Office Insulation	20100331	500.00
			Total for Red Stick Insulation Co, Inc.		500.00
Schindler Elevator Corporation	8102388189	Elevator service	Cust ID#1088720	20090701	1,134.42
Schindler Elevator Corporation	8102456426	Elevator Service	Cust ID #1088720	20091001	1,134.42
Schindler Elevator Corporation	8102525713	Preventative Elevator Maintenance	Cust ID #1088720	20100101	1,199.64
Schindler Elevator Corporation	8102595398	Elevator Maintenance	Cust ID#1088720	20100401	1,199.64
			Total for Schindler Elevator Corporation		4,668.12
Staples Contract & Commercial, Inc.	96306972	Janitorial Supplies	Cust #13352793	20090709	182.27
Staples Contract & Commercial, Inc.	96668081	Janitorial supplies	Cust #13352793	20090729	312.58
Staples Contract & Commercial, Inc.	96937624	Janitorial Supplies	Cust #13352793	20090812	135.50
Staples Contract & Commercial, Inc.	97100680	Janitorial Supplies	Cust #13352793	20090820	241.94
Staples Contract & Commercial, Inc.	97274043	Fireking security group	Cust #13352793	20090828	1,110.37
Staples Contract & Commercial, Inc.	97296843	Janitorial Supplies	Cust #13352793	20090831	189.21
Staples Contract & Commercial, Inc.	97531320	Janitorial Supplies	Cust #13352793	20090911	51.82
Staples Contract & Commercial, Inc.	97581939	Janitorial Supplies	Cust #13352793	20090915	460.50
Staples Contract & Commercial, Inc.	97730492	Janitorial Supplies	Cust #13352793	20090922	65.58
Staples Contract & Commercial, Inc.	97787317	Janitorial Supplies	Cust #13352793	20090924	(234.00)
Staples Contract & Commercial, Inc.	97897516	Janitorial Supplies	Cust #13352793	20090930	72.00
Staples Contract & Commercial, Inc.	98128824	Janitorial Supplies	Cust #13352793	20091012	25.64
Staples Contract & Commercial, Inc.	98214361	Doorstop	Cust #13352793	20091015	19.04
Staples Contract & Commercial, Inc.	9821404	Janitorial Supplies	Cust #13352793	20091021	335.82
Staples Contract & Commercial, Inc.	98433758	Janitorial Supplies	Cust #13352793	20091027	72.00
Staples Contract & Commercial, Inc.	98808273	Janitorial Supplies	Cust #13352793	20091113	324.22
Staples Contract & Commercial, Inc.	98860714	Janitorial Supplies	Cust #13352793	20091117	45.50
Staples Contract & Commercial, Inc.	99129926	Janitorial Supplies	Cust #13352793	20091202	90.00
Staples Contract & Commercial, Inc.	99388059	Janitorial Supplies	Cust #13352793	20091214	227.40
Staples Contract & Commercial, Inc.	99729488	Janitorial Supplies	Cust #13352793	20100104	418.01
Staples Contract & Commercial, Inc.	100027544	Janitorial Supplies	Cust #13352793	20100115	93.60
Staples Contract & Commercial, Inc.	100114572	Indoor Mats	Cust #13352793	20100120	292.00
Staples Contract & Commercial, Inc.	100406931	Janitorial Supplies	Cust #13352793	20100202	90.00
Staples Contract & Commercial, Inc.	100532851	Janitorial Supplies	Cust #13352793	20100208	223.71
Staples Contract & Commercial, Inc.	100554639	Janitorial Supplies	Cust #13352793	20100209	321.35
Staples Contract & Commercial, Inc.	100584671	Janitorial Supplies	Cust #13352793	20100210	112.00
Staples Contract & Commercial, Inc.	100818293	Janitorial Supplies	Cust #13352793	20100223	72.00
Staples Contract & Commercial, Inc.	101163787	Janitorial Supplies	Cust #13352793	20100311	90.00
Staples Contract & Commercial, Inc.	101247771	Janitorial Supplies	Cust #13352793	20100316	182.00
Staples Contract & Commercial, Inc.	101502636	Janitorial Supplies	Cust #13352793	20100330	10.68
Staples Contract & Commercial, Inc.	101565401	Janitorial Supplies	Cust #13352793	20100401	90.00
Staples Contract & Commercial, Inc.	101683947	Janitorial Supplies	Cust #13352793	20100408	145.33
Staples Contract & Commercial, Inc.	101763041	Janitorial Supplies	Cust #13352793	20100413	272.00
Staples Contract & Commercial, Inc.	101918498	Janitorial Supplies	Cust #13352793	20100421	109.32

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
Staples Contract & Commercial, Inc.	102083184	Janitorial Supplies	Cust #13352793	20100430	90.00
Staples Contract & Commercial, Inc.	102197705	Janitorial Supplies	Cust #13352793	20100506	72.00
Staples Contract & Commercial, Inc.	102366797	Janitorial Supplies	Cust #13352793	20100517	82.50
Staples Contract & Commercial, Inc.	102534829	Janitorial Supplies	Cust #13352793	20100526	182.00
Staples Contract & Commercial, Inc.	102534830	Janitorial Supplies	Cust #13352793	20100526	90.00
Staples Contract & Commercial, Inc.	102616476	Janitorial Supplies	Cust #13352793	20100601	106.58
Staples Contract & Commercial, Inc.	102714353	Janitorial Supplies	Cust #13352793	20100607	90.00
Staples Contract & Commercial, Inc.	102932028	Paper Towels, Toilet Tissue, Liners	Cust #13352793	20100618	454.47
Staples Contract & Commercial, Inc.	102969619	Liners	Cust #13352793	20100622	(245.97)
Staples Contract & Commercial, Inc.	102969618	Liner	Cust #13352793	20100622	81.99
			Total for Staples Contract & Commercial, Inc.		7,252.96
State Industrial Products Corporation	94237837	Orange Odor Eliminator	Cust #613238	20090629	166.23
			Total for State Industrial Products Corporation		166.23
SWE, Inc.	245136	Water Treatment	Cust #L1604C	20090701	65.00
SWE, Inc.	246572	Water Treatment	Cust #L1604C	20090801	65.00
SWE, Inc.	247993	Water Treatment	Cust #L1604C	20090901	65.00
SWE, Inc.	249325	Water Treatment	Cust #L1604C	20091001	65.00
SWE, Inc.	250633	Water Treatment	Cust #L1604C	20091101	65.00
SWE, Inc.	251844	Monthly Water Treatment	Cust #L1604C	20091201	65.00
SWE, Inc.	253052	Monthly Water Treatment	Cust #L1604C	20100101	65.00
SWE, Inc.	254348	Water Treatment	Cust #L1604C	20100201	65.00
SWE, Inc.	255580	Water Treatment	Cust #L1604C	20100301	65.00
SWE, Inc.	256879	Water Treatment	Cust #L1604C	20100401	65.00
SWE, Inc.	258159	Water Treatment-05/2010	Cust #L1604C	20100501	65.00
SWE, Inc.	259423	Water Treatment - 06/2010	Cust #L1604C	20100601	65.00
			Total for SWE, Inc.		780.00
Technical Services Group, Inc.	197838	Equipment and labor to repair and tune microphone systems	Equipment and labor to repair and tune microphone systems	20091031	1,845.00
			Total for Technical Services Group, Inc.		1,845.00
Toner Recyclers, Inc.	19403	Refurbished laserjet 4250T for Single Family	Refurbished laserjet 4250T for Single Family	20091012	2,100.00
Toner Recyclers, Inc.	20290	HP 4250tn with addition trays	HP 4250tn with addition trays	20100518	1,050.00
			Total for Toner Recyclers, Inc.		3,150.00
Turnkey Solutions, LLC	10010772	Computer Vulnerability Assessment, Penetration Test, Rack mo	Computer Vulnerability Assessment, Penetration Test, Rack mo	20090807	16,480.00
			Total for Turnkey Solutions, LLC		16,480.00
U.S. Flag & Pole Services Inc.	3342	Flag pole repairs and service	Flag pole repairs and service	20100219	750.00
			Total for U.S. Flag & Pole Services Inc.		750.00

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
Utility Holdings Inc	070209	Sprinkler	Acct #9600049501	20090702	21.20
Utility Holdings Inc	072409	Water/Sewer	Acct #010119122005701	20090724	677.63
Utility Holdings Inc	07242009	Water	Acct #010119122006101	20090724	44.12
Utility Holdings Inc	080309	Sprinkler System	Acct #010101600049501	20090803	21.20
Utility Holdings Inc	082409	Water and Sewer	Acct #010119122005701	20090824	606.44
Utility Holdings Inc	08242009	Water Service	Acct #010119122006101	20090824	44.12
Utility Holdings Inc	090109	Sprinkler	Acct #010101600049501	20090901	21.20
Utility Holdings Inc	092209	Water/Sewerage	Acct #010119122005701	20090922	717.05
Utility Holdings Inc	09222009	Water	Acct #010119122006101	20090922	44.12
Utility Holdings Inc	100109	Sprinkler	Acct #010101600049501	20091001	21.20
Utility Holdings Inc	102209	Water & Sewerage	Acct #010119122005701	20091022	595.52
Utility Holdings Inc	10222009	Water	Acct #01011922006101	20091022	44.12
Utility Holdings Inc	103009	Sprinkler	Acct #010101600049501	20091030	21.20
Utility Holdings Inc	11232009	Water	Acct #010119122006101	20091123	44.12
Utility Holdings Inc	112309	Water & Sewerage	Acct #010119122005701	20091123	609.71
Utility Holdings Inc	120209	Sprinkler	Acct #010101600049501	20091202	21.20
Utility Holdings Inc	122309	Water & Sewerage	Acct #010119122005701	20091223	517.99
Utility Holdings Inc	12232009	Water	Acct #010119122006101	20091223	44.12
Utility Holdings Inc	010510	Sprinkler	Acct #010101600049501	20100105	21.20
Utility Holdings Inc	01272010	Water	Acct #010119122006101	20100127	36.61
Utility Holdings Inc	012710	Water & Sewerage	Acct #010119122005701	20100127	501.77
Utility Holdings Inc	020310	Sprinkler	Acct #010101600049501	20100203	21.20
Utility Holdings Inc	02252010	Water	Acct #010119122006101	20100225	44.12
Utility Holdings Inc	022510	Water & Sewerage	Acct #010119122005701	20100225	511.79
Utility Holdings Inc	030410	Sprinkler	Acct #010101600049501	20100304	21.20
Utility Holdings Inc	032610	Water	Acct #010119122006101	20100326	44.12
Utility Holdings Inc	033110	Water & Sewerage	Acct #010119122005701	20100331	511.81
Utility Holdings Inc	040510	Sprinkler	Acct #01010160049501	20100405	21.20
Utility Holdings Inc	042710	Water & Sewerage	Acct #010119122005701	20100427	516.25
Utility Holdings Inc	04272010	Water	Acct #010119122006101	20100427	44.12
Utility Holdings Inc	050410	Sprinkler through 05/04/10	Acct #010101600049501	20100504	21.20
Utility Holdings Inc	052510	Water & Sewerage-05/2010	Acct #010119122005701	20100525	681.51
Utility Holdings Inc	05252010	Water	Acct #010119122006101	20100525	44.12
Utility Holdings Inc	060310	Sprinkler-06/2010	Acct #010101600049501	20100603	21.20
Utility Holdings Inc	062810	Water & Sewerage-06/2010	Acct #010119122005701	20100628	582.85
Utility Holdings Inc	06282010	Water-06/2010	Acct #010119122006101	20100628	44.12
			Total for Utility Holdings Inc		7,806.65
Voice Express	712	Additional Software Licenses	Upgrade CallExpress to support emergency notification proces	20091008	6,500.00
Voice Express	712	Hardware ports	Upgrade CallExpress to support emergency notification proces	20091008	3,340.00
			Total for Voice Express		9,840.00
W.W. Grainger, Inc.	9079207529	Concrete Repair, Tumbler cam-lock	Acct #872902572	20090916	119.54

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION		DATE	AMOUNT
W.W. Grainger, Inc.	9133335951	Pleated Filters	Acct #872902572		20091203	125.76
W.W. Grainger, Inc.	9197560858	Black Rubber Diaphragm, O-Ring, Vacuum Breaker Kit	Acct #872902572		20100304	75.14
W.W. Grainger, Inc.	9280270720	Air Filters	Acct #872902572		20100618	183.60
				Total for W.W. Grainger, Inc.		504.04
Waste Management	1535306-2154-6	Trash Disposal	Acct #154-0891536-2154-8		20090701	361.71
Waste Management	1541204-2154-5	Trash Disposal	Acct #154-0891536-2154-8		20090801	359.73
Waste Management	1661378-2154-1	Trash Disposal	Acct #154-0891536-2154-8		20090901	405.31
Waste Management	1669335-2154-3	Trash Disposal	Acct #154-0891536-2154-8		20091001	404.77
Waste Management	1680615-2154-3	Trash Disposal	Acct #154-0891536-2154-8		20091101	406.42
Waste Management	1688530-2154-6	Trash Disposal	Acct #154-0891536-2154-8		20091201	407.92
Waste Management	1722957-2154-9	Trash Disposal	Acct #154-0891536-2154-8		20100101	407.17
Waste Management	1728846-2154-8	Trash Disposal	Acct #154-0891536-2154-8		20100201	409.39
Waste Management	1741330-2154-6	Trash Disposal	Acct #154-0891536-2154-8		20100301	407.35
Waste Management	1748042-2154-0	Trash Disposal	Acct #154-0891536-2154-8		20100401	484.69
Waste Management	1838308-2154-6	Trash Disposal-05/2010	Acct #154-0891536-2154-8		20100501	487.54
Waste Management	1843684-2154-3	Trash Disposal-06/2010	Acct #154-0891536-2154-81		20100601	487.97
				Total for Waste Management		5,029.97
						465,544.79

LHFA Invoice Details for Building Expenditures---Fiscal Year 2011 from Period 01 to Period 09

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
AG Building Specialists, Inc.	11408	Stairwell ceiling repair, replace missing and damaged ceilin	Stairwell ceiling repair, replace missing and damaged ceilin	20101105	390.00
			Total for AG Building Specialists, Inc.		390.00
ARCCO Power Systems	103	Recommended PM on 80KW generator set	Cust ID: LAHOUSIN	20101027	690.00
			Total for ARCCO Power Systems		690.00
Bank of America	080510LACARTE	Don Seiser-Microwave-07/12/10	Acct ending 4107	20100805	104.96
Bank of America	090510LACARTE	Don Seiser-Louisiana 6' x 10' nylong flag-08/04/2010	Acct ending 4107	20100905	177.85
Bank of America	090510LACARTE-A	Don Seiser-Supplies for Buildings & Gounds-08/09/2010	Acct ending 4107	20100905	54.74
Bank of America	090510LACARTE-A	Don Seiser-Supplies for Buildings & Grounds-08/31/2010	Acct ending 4107	20100905	27.92
Bank of America	100510LACARTE	Don Seiser-Ground Supplies-09/21/10	Acct ending 4107	20101005	17.94
Bank of America	100510LACARTE-C	Don Seiser-Water Cooler Repair-09/27/10	Acct ending 4107	20101005	125.00
Bank of America	110510LACARTE	Don Seiser-American Flag-10/05/10	Acct ending 4107	20101105	135.51
Bank of America	110510LACARTE-A	Don Seiser-Bradley toilet tissue dispenser-10/20/10	Acct ending 4107	20101105	122.95
Bank of America	120510LACARTE	Don Seiser-Louisiana Flag - 11/09/10	Acct ending 4107	20101205	135.86
Bank of America	120510LACARTE-A	Don Seiser-Labor charges to repair the convection/microwave	Acct ending 4107	20101205	190.15
Bank of America	020511LACARTE	Don Seiser-Microwave-01/24/2011	Acct ending 4107	20110205	169.00
			Total for Bank of America		1,261.88
Baton Rouge Sewer & Drain Service Inc.	90750	Replaced Water Coolers on 2nd Floor	Replaced Water Coolers on 2nd Floor	20101007	1,524.25
			Total for Baton Rouge Sewer & Drain Service Inc.		1,524.25
Billy Heroman's Flowerland, Inc.	335868/1	Monthly Landscape-07/2010	Monthly Landscape-07/2010	20100704	288.50
Billy Heroman's Flowerland, Inc.	340821/1	Monthly Landscaping - 08/2010	Monthly Landscaping - 08/2010	20100801	288.50
Billy Heroman's Flowerland, Inc.	347178/1	Monthly Landscape-09/2010	Monthly Landscape-09/2010	20100905	288.50
Billy Heroman's Flowerland, Inc.	352767/1	Monthly Landscape - 10/2010	Monthly Landscape - 10/2010	20101003	288.50
Billy Heroman's Flowerland, Inc.	360867/1	Monthly Landscape-11/2010	Monthly Landscape-11/2010	20101107	288.50
Billy Heroman's Flowerland, Inc.	363240/1	Poinsettias	Acct #P000154	20101118	730.00
Billy Heroman's Flowerland, Inc.	367103/1	Monthly Landscape - 12/2010	Acct #P000154	20101205	288.50
Billy Heroman's Flowerland, Inc.	375308/1	Monthly Landscaping - 01/2011	Monthly Landscaping - 01/2011	20110102	288.50
Billy Heroman's Flowerland, Inc.	383374/1	Monthly Landscaping - 02/2011	Monthly Landscaping - 02/2011	20110206	288.50
Billy Heroman's Flowerland, Inc.	392357/1	Monthly Landscape - 03/2011	Monthly Landscape-03/2011	20110306	288.50
			Total for Billy Heroman's Flowerland, Inc.		3,326.50
Consolidated Electrical Distributors, Inc.	0453-525883	Replacement Lamps	Cust #42-56378	20100820	95.40
Consolidated Electrical Distributors, Inc.	0453-527137	Replacement Lamps	Acct #42-56378	20101008	237.60
			Total for Consolidated Electrical Distributors, Inc.		333.00
Corporate Mechanical Contractors, Inc.	100511-012	A/C Maintenance	Work Order #100511-012	20100511	278.00
Corporate Mechanical Contractors, Inc.	100513-013	Chiller A Repairs	Work Order #100513-013	20100513	1,017.26
Corporate Mechanical Contractors, Inc.	100701-046	Monthly maintenance to inspect & service Liebert units	Work Order #100701-046	20100701	723.00
Corporate Mechanical Contractors, Inc.	100701-047	Quarterly Maintenance-07/15/10-10/15/10	Quarterly Maintenance-07/15/10-10/15/10	20100701	2,112.00

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
Corporate Mechanical Contractors, Inc.	100708-001	Service on 2nd floor water alarm	Work Order #100708-001	20100708	355.06
Corporate Mechanical Contractors, Inc.	100709-006	Service on 3rd floor water alarm	Work Order #100709-006	20100709	278.00
Corporate Mechanical Contractors, Inc.	100819-002	Repairs to Chiller B	Repairs to Chiller B	20100819	637.63
Corporate Mechanical Contractors, Inc.	100909-013	Chiller B Repairs (Fan Motor)	Work Order #100909-013	20100909	1,238.46
Corporate Mechanical Contractors, Inc.	100910-010	Repairs to Chiller B	Repairs to Chiller B	20100910	2,252.19
Corporate Mechanical Contractors, Inc.	101001-048	Quarterly Maintenance 10/15/10 - 1/15/11	Work Order #101001-048	20101001	2,112.00
Corporate Mechanical Contractors, Inc.	101209-004	Repair VAV boxes on 1st and 2nd floors	Work Order #101209-004	20101209	506.43
Corporate Mechanical Contractors, Inc.	101220-007	Chiller B Repairs-Alarms	Work Order #101220-007	20101220	342.00
Corporate Mechanical Contractors, Inc.	110103-051	Monthly Maintenance-01/01/11 - 03/31/11	Work Order #110103-051	20110104	723.00
Corporate Mechanical Contractors, Inc.	110118-002	Chiller B Repairs	Work Order #110118-002	20110118	605.10
Corporate Mechanical Contractors, Inc.	110103-052	Monthly Maintenance - 01/01/11 - 03/31/11	Work Order #110103-052	20110127	2,112.00
Corporate Mechanical Contractors, Inc.	110131-002	Chiller B Repairs (Fuses)	Work Order #110131-002	20110131	425.45
			Total for Corporate Mechanical Contractors, Inc.		15,717.58
Delta Electric Company of Baton Rouge, Inc.	13961	Replace bulbs and ballasts in the parking lot-02/24/11	Replace bulbs and ballasts in the parking lot-02/24/11	20110303	1,822.73
			Total for Delta Electric Company of Baton Rouge, Inc.		1,822.73
Employment Development Services, Inc.	40031	Janitorial Services-07/2010	Janitorial Services-07/2010	20100712	5,057.80
Employment Development Services, Inc.	40332	Janitorial Services-08/2010	Janitorial Services-08/2010	20100810	5,057.80
Employment Development Services, Inc.	40644	Janitorial Services-09/2010	Janitorial Services-09/2010	20100913	5,057.80
			Total for Employment Development Services, Inc.		15,173.40
Enmon Enterprises, LLC	BAT10100594	Janitorial Services-10/2010	Cust #358015	20101005	3,650.00
Enmon Enterprises, LLC	BAT11100146	Janitorial Services-11/2010	Cust #358015	20101101	3,650.00
Enmon Enterprises, LLC	BAT12100145	Janitorial Services - 12/2010	Cust #358015	20101201	3,650.00
Enmon Enterprises, LLC	BAT01110147	Janitorial Services - 01/2011	Janitorial Services - 01/2011	20110101	3,650.00
Enmon Enterprises, LLC	BAT02110143	Janitorial Services-02/2011	Janitorial Services-02/2011	20110201	3,650.00
Enmon Enterprises, LLC	BAT03110141	Janitorial Services-03/2011	Janitorial Services-03/2011	20110301	3,650.00
			Total for Enmon Enterprises, LLC		21,900.00
Entergy Services Inc.	515001149698	Electricity-thru 08/05/10	Acct #33786401	20100805	9,801.18
Entergy Services Inc.	570000501327	Electricity-08/2010	Acct #33786401	20100903	9,042.82
Entergy Services Inc.	415001453531	Electricity-08/31/10-09/30/10	Acct #33786401	20101005	8,641.56
Entergy Services Inc.	255001954955	Electricity-through 11/01/10	Acct #33786401	20101104	8,247.23
Entergy Services Inc.	230002032281	Electricity - 11/2010	Acct #33786401	20101206	7,863.09
Entergy Services Inc.	385001615105	Electricity - 12/02/10 - 01/04/11	Acct #33786401	20110107	8,581.89
Entergy Services Inc.	260002070281	Electricity-01/2011	Acct #33786401	20110207	7,566.26
Entergy Services Inc.	100002313881	Electricity through 03/03/2011	Acct #33786401	20110303	9,443.45
			Total for Entergy Services Inc.		69,187.48
Facility Automation, Inc.	968055	Quarterly Maintenance - 07/2010 - 09/2010	Quarterly Maintenance - 07/2010 - 09/2010	20101011	4,624.50
Facility Automation, Inc.	968331	Rear handicap door will not close-01/17/11	Cust ID#LHF-SER	20110120	190.00

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
			Total for Facility Automation, Inc.		4,814.50
Gulf Coast Office Products	AR53533	New Savin 8065SPF Digital Imaging system	Acct #LH01	20100817	6,695.00
			Total for Gulf Coast Office Products		6,695.00
Ike Smith Electric	0051134-IN	Add Circuits and Outlets in Room 298 & Conference Room	Cust #0000962	20100621	900.00
Ike Smith Electric	0051137-IN	Checked OCC Sensor	Cust #0000962	20100621	80.00
Ike Smith Electric	0051225-IN	Troubleshoot Light in 3rd floor men's bathroom	Cust #0000962	20100805	80.00
Ike Smith Electric	0051257-IN	Changed Bad Power Pack in Bathroom, Labor	Cust #0000962	20100819	160.00
			Total for Ike Smith Electric		1,220.00
Louisiana Division of Administration	12942	LHFA	ORM Annual Insurance Premiums-FY 2010-2011	20100713	83,412.00
			Total for Louisiana Division of Administration		83,412.00
Louisiana Fire Extinguisher, Inc	180514	Annual Fire Extinguisher Service	Annual Fire Extinguisher Service	20100914	350.00
			Total for Louisiana Fire Extinguisher, Inc		350.00
Luxury Lawn & Landscape, LLC	001	Lawn Service	Lawn Service	20101108	7,184.88
Luxury Lawn & Landscape, LLC	002	Lawn Service	Lawn Service	20101108	1,989.78
			Total for Luxury Lawn & Landscape, LLC		9,174.66
Premier Pest Services	7201868	Monthly Pest Control-07/2010	Monthly Pest Control-07/2010	20100704	80.00
Premier Pest Services	8202047	Monthly Pest Control-08/2010	Monthly Pest Control-08/2010	20100803	80.00
Premier Pest Services	9202145	Monthly Pest Control-09/2010	Monthly Pest Control-09/2010	20100904	80.00
Premier Pest Services	10012149	Monthly Pest Control-10/2010	Monthly Pest Control-10/2010	20101004	80.00
Premier Pest Services	11012384	Monthly Pest Control-11/2010	Monthly Pest Control-11/2010	20101104	80.00
Premier Pest Services	12012479	Monthly Pest Control-12/2010	Monthly Pest Control-12/2010	20101202	80.00
Premier Pest Services	120542011	Monthly Pest Control-01/2011	Monthly Pest Control-01/2011	20110104	80.00
Premier Pest Services	212054	Monthly Pest Control - 02/2011	Monthly Pest Control - 02/2011	20110204	80.00
Premier Pest Services	212082	2011 Liquid Termite Renewal	2011 Liquid Termite Renewal	20110222	280.00
			Total for Premier Pest Services		920.00
Schindler Elevator Corporation	8102664098	Elevator Service - 07/01/10-09/30/10	Cust #1088720	20100701	1,199.64
Schindler Elevator Corporation	8102734737	Quarterly Elevator Maintenance-10/01/10-12/31/10	Cust ID#1088720	20101001	1,197.00
Schindler Elevator Corporation	8102806136	Maintenance Services - 01/01/11 - 03/31/11	Billing ID#1088720	20110101	1,262.13
Schindler Elevator Corporation	7151399342	Service Call-02/23/2011	Billing ID#1088720	20110228	171.55
			Total for Schindler Elevator Corporation		3,830.32
Staples Contract & Commercial, Inc.	103191023	Janitorial Supplies	Cust #13352793	20100706	90.00
Staples Contract & Commercial, Inc.	103402977	Janitorial Supplies	Cust #13352793	20100719	90.00
Staples Contract & Commercial, Inc.	103488014	Janitorial Supplies	Cust #13352793	20100722	128.00
Staples Contract & Commercial, Inc.	103653722	Janitorial Supplies	Cust #13352793	20100730	254.76

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
Staples Contract & Commercial, Inc.	103653723	Janitorial Supplies	Cust #13352793	20100730	30.88
Staples Contract & Commercial, Inc.	103998001	Janitorial Supplies	Cust #13352793	20100818	262.99
Staples Contract & Commercial, Inc.	104018078	Janitorial Supplies	Cust #13352793	20100819	39.60
Staples Contract & Commercial, Inc.	104306583	Paper Towels	Cust #13352793	20100903	90.00
Staples Contract & Commercial, Inc.	104537997	Janitorial Supplies	Cust #13352793	20100917	90.00
Staples Contract & Commercial, Inc.	104609229	Janitorial Supplies	Cust #13352793	20100922	229.01
Staples Contract & Commercial, Inc.	104708951	Janitorial Supplies	Cust #13352793	20100928	90.00
Staples Contract & Commercial, Inc.	104759761	Janitorial Supplies	Cust #13352793	20100930	18.50
Staples Contract & Commercial, Inc.	104759766	Janitorial Supplies	Cust #13352793	20100930	386.60
Staples Contract & Commercial, Inc.	104817194	Janitorial Supplies	Cust #13352793	20101004	112.00
Staples Contract & Commercial, Inc.	104863743	Janitorial Supplies	Cust #13352793	20101006	112.00
Staples Contract & Commercial, Inc.	105003439	Janitorial Supplies	Cust #13352793	20101014	90.00
Staples Contract & Commercial, Inc.	105185717	Janitorial Supplies	Cust #13352793	20101025	(112.00)
Staples Contract & Commercial, Inc.	105315416	Janitorial Supplies	Cust #13352793	20101101	436.88
Staples Contract & Commercial, Inc.	105638229	Janitorial Supplies	Cust #13352793	20101118	90.00
Staples Contract & Commercial, Inc.	105947964	Janitorial Supplies	Cust #13352793	20101208	94.56
Staples Contract & Commercial, Inc.	106256940	Janitorial Supplies	Cust #13352793	20101229	377.81
Staples Contract & Commercial, Inc.	106256939	Janitorial Supplies	Cust #13352793	20101229	118.20
Staples Contract & Commercial, Inc.	106517026	Janitorial Supplies	Cust #13352793	20110113	141.36
Staples Contract & Commercial, Inc.	106691288	Janitorial Supplies	Cust# 13352793	20110124	200.70
Staples Contract & Commercial, Inc.	106959163	Janitorial Supplies	Cust #13352793	20110208	118.20
Staples Contract & Commercial, Inc.	106989956	Tissue, Toilet	Cust #13352793	20110209	193.28
Staples Contract & Commercial, Inc.	107034933	Liner, Waste	Cust #13352793	20110211	81.99
Staples Contract & Commercial, Inc.	107218222	Janitorial Supplies	Cust #13352793	20110223	118.20
Staples Contract & Commercial, Inc.	107410933	Janitorial Supplies	Cust #13352793	20110307	255.66
			Total for Staples Contract & Commercial, Inc.		4,229.18
SWE, Inc.	260840	Water Treatment-07/2010	Cust #L1604C	20100701	65.00
SWE, Inc.	262434	Water Treatment-08/2010	Cust #L1604C	20100801	65.00
SWE, Inc.	263850	Water Treatment - 09/2010	Cust #L1604C	20100901	65.00
SWE, Inc.	265159	Monthly Water Treatment-10/2010	Cust #L1604C	20101001	65.00
SWE, Inc.	266494	Water Treatment-11/2010	Cust #L1604C	20101101	65.00
SWE, Inc.	267743	Water Treatment - 12/2010	Cust #L1604C	20101201	65.00
SWE, Inc.	268874	Water Treatment - 01/2011	Cust #L1604C	20110101	65.00
SWE, Inc.	270240	Water Treatment- 2/2001	Cust# L1604C	20110201	65.00
SWE, Inc.	271451	Water Treatment-03/2011	Cust #L1604C	20110301	65.00
			Total for SWE, Inc.		585.00
Technical Services Group, Inc.	198388	PS400 Desktop Document Camera	PS400 Desktop Document Camera	20100928	1,743.00
			Total for Technical Services Group, Inc.		1,743.00
Utility Holdings Inc	070210	Sprinkler-07/2010	Acct #010101600049501	20100702	21.20
Utility Holdings Inc	072710	Water & Sewerage - 07/2010	Acct #010119122005701	20100727	728.05

VENDOR NAME	INVOICE ID	DETAIL DESCRIPTION	HEADER DESCRIPTION	DATE	AMOUNT
Utility Holdings Inc	07272010	Water-07/2010	Acct #010119122006101	20100727	44.12
Utility Holdings Inc	080310	Sprinkler-07-08/2010	Acct #010101600049501	20100803	21.20
Utility Holdings Inc	082710	Water & Sewerage - 08/27/2010	Acct #010119122005701	20100827	522.96
Utility Holdings Inc	08272010	Water - 08/27/2010	Acct #010119122006101	20100827	44.12
Utility Holdings Inc	090110	Sprinkler-09/01/10	Acct #010101600049501	20100901	21.20
Utility Holdings Inc	092410	Water Services-through 09/24/10	Acct #010119122006101	20100924	44.12
Utility Holdings Inc	092910	Water & Sewerage - through 09/29/10	Acct #010119122005701	20100929	248.33
Utility Holdings Inc	100110	Sprinkler-through 10/01/10	Acct #010101600049501	20101001	21.20
Utility Holdings Inc	102610	Water & Sewerage - 10/2010	Acct #010119122005701	20101026	392.38
Utility Holdings Inc	10262010	Water - 10/2010	Acct #010119122006101	20101026	44.12
Utility Holdings Inc	110310	Sprinkler - 10/2010	Acct #010101600049501	20101103	21.20
Utility Holdings Inc	112410	Water and Sewerage - 11/2010	Acct #010119122005701	20101124	398.68
Utility Holdings Inc	11242010	Water - 11/2010	Acct #010119122006101	20101124	44.12
Utility Holdings Inc	120210	Sprinkler - through 12/02/10	Acct #010101600049501	20101202	21.20
Utility Holdings Inc	122710	Water and Sewerage - through 12/27/10	Acct #010119122005701	20101227	341.91
Utility Holdings Inc	12272010	Water-thorugh 12/27/10	Acct #010119122006101	20101227	44.12
Utility Holdings Inc	010411	Sprinkler - through 01/04/11	Acct #010101600049501	20110104	21.20
Utility Holdings Inc	012720011	Sewage- 1/2011	Acct# 010119122005701	20110127	320.31
Utility Holdings Inc	02022011	Sprinkler- 1/2011	Acct# 010101600049501	20110202	21.20
Utility Holdings Inc	02252011	Water through 02/25/2011	Acct #010119122006101	20110225	44.12
Utility Holdings Inc	022511	Water & Sewerage through 02/25/2011	Acct #010119122005701	20110225	330.31
Utility Holdings Inc	1272011	Water- 1/2011	Acct#010119122006101	20110227	36.61
Utility Holdings Inc	030311	Sprinkler through 03/03/2011	Acct #010101600049501	20110303	21.20
			Total for Utility Holdings Inc		3,819.18
W.W. Grainger, Inc.	9377123345	Standard Batteries	Acct #872902572	20101021	19.86
W.W. Grainger, Inc.	9377123352	V Belt, Breaker Kit, Repair Kit, Diaphragm	Acct #872902572	20101021	136.00
W.W. Grainger, Inc.	9377762639	Air Filters	Acct #872902572	20101022	183.24
W.W. Grainger, Inc.	9418469244	Belts	Acct #872902572	20101215	183.65
			Total for W.W. Grainger, Inc.		522.75
Waste Management	1854347-2154-3	Trash Disposal-07/2010	Acct #154-0891536-2154-8	20100701	485.11
Waste Management	1860290-2154-7	Trash Disposal-08/2010	Acct #154-0891536-2154-8	20100801	483.80
Waste Management	1896619-2154-5	Trash Disposal - 09/2010	Acct #154-0891536-2154-8	20100901	485.56
Waste Management	1902057-2154-0	Trash Disposal-10/2010	Acct #154-0891536-2154-8	20101001	489.54
Waste Management	1911847-2154-3	Trash Disposal-11/2010	Acct #154-0891536-2154-8	20101101	501.49
Waste Management	1919765-2154-9	Trash Disposal - 12/2010	Acct #154-0891536-2154-8	20101201	504.21
Waste Management	1952175-2154-9	Trash Disposal - 01/2011	Acct #154-0891536-2154-8	20110101	505.90
Waste Management	1957104-2154-4	Trash Disposal-02/2011	Acct #154-0891536-2154-8	20110201	509.84
Waste Management	1971110-2154-3	Trash Disposal - 03/2011	Acct #154-0891536-2154-8	20110301	568.33
			Total for Waste Management		4,533.78
					257,176.19